



NAGAMBIE, STREETSCAPE MASTERPLAN

Strathbogie Shire Council

This document has been prepared by
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DOCUMENT CONTROL

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WELCOME TO NAGAMBIE

In partnership with Go Nagambie, Strathbogie Shire Council has engaged Planit Consulting to develop a Streetscape Masterplan that can be implemented as a staged approach over subsequent years. It is intended that this design will be used as an appendices for the Negambie Growth Management Strategy. The proposed works include:

- Design works for the Nagambie High St Central Business District.
- Landscaping on the GV Highway diamond interchange round-a-bout at Mitchellstown Road.

The Streetscape Masterplan will also be read in conjunction with a signage audit and recommendation report, prepared by Planit Consulting, for the North and South approach points to the town.

Some of the key considerations to inform the masterplan design aspects for High Street include:

- Focus on the key landmarks – water tower, cenotaph, old mill, median strip.
- Potential relocation of public amenities
- Footpaths
- Street side plantings
- Alfresco area facilitating outdoor dining
- Simplified colour palette, reduction in signage
- Market spaces in central median strip interacting with shops.

Project Team

Strathbogie Shire Council – Planning and Investment Department will be the lead department for this project.

Key Stakeholders

- Relevant Strathbogie Shire Council Departments (Tourism, Arts and Cultural Team, Project Delivery Department, Asset Planning Department, Operations Department and CEO)
- Go Nagambie representatives
- Nagambie Community
- Nagambie Business Operators
- Service providers
- Referral authorities



Nagambie is an attractive rural town with a unique character due to its location to Lake Negambie and the Goulburn River.

River Red Gums are present throughout the town, the distant backdrop of the Strathbogie Ranges link the town strongly to its landscape context.

The towns central business district is built along High Street and is generally bounded by Young and Vale Streets in the north, Filson Street in the east, Glencairn Lane in the south and Blayney Lane in the west. Within this area there are a number of commercial and retail uses as well as civic buildings and public land.

Heritage buildings are located along the main street, dating back to Victorian era, these days they are used for shops, take-away cafes and accommodation.

The Lake Foreshore open space, Jacobson's Outlook, is a particularly significant area within the High Street commercial centre. This open space offers spectacular views across the lake from High Street and provides access to the lakeside.

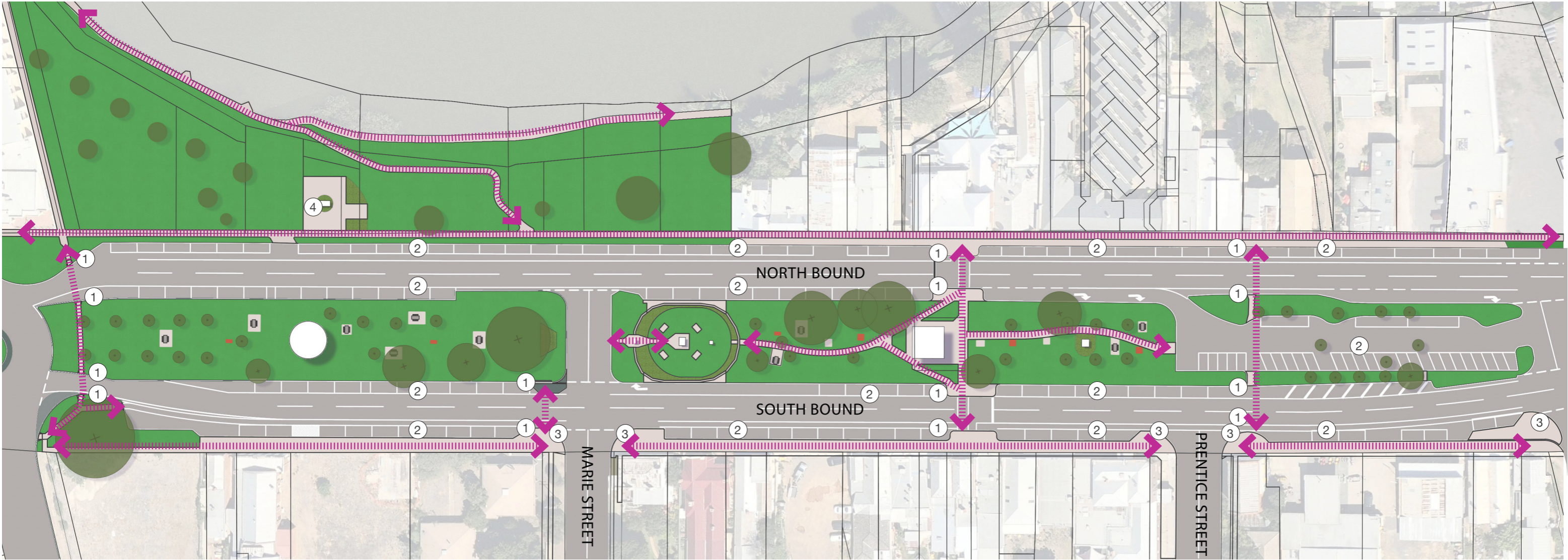
The highway forms a north-south spine which runs through the township and acts as the main street.



- Opportunities:
- Enhance existing pedestrian crossing points across High Street.
 - Facilitate gathering opportunities at existing built out kerb intersections
 - Provide a stream lined pedestrian pavement to High Street.
 - Create a central plaza within the median, with an integrated amenity block.
 - Opportunity to re-align the north bound road around the eastern side of the water tank, to create a larger open space.

LEGEND

- ① EXISTING ROAD CROSSING
High Street crossing points.
 - ② EXISTING CAR PARK
Parallel parking and angle parking
 - ③ BUILT OUT KERBS AT AN INTERSECTION
Place making opportunities
 - ④ BACK CAVIAR STATUE
Statue adjoining footpath.
- WATER TOWER
Statue adjoining footpath.
- ↔ GENERAL PEDESTRIAN CIRCULATION
Description

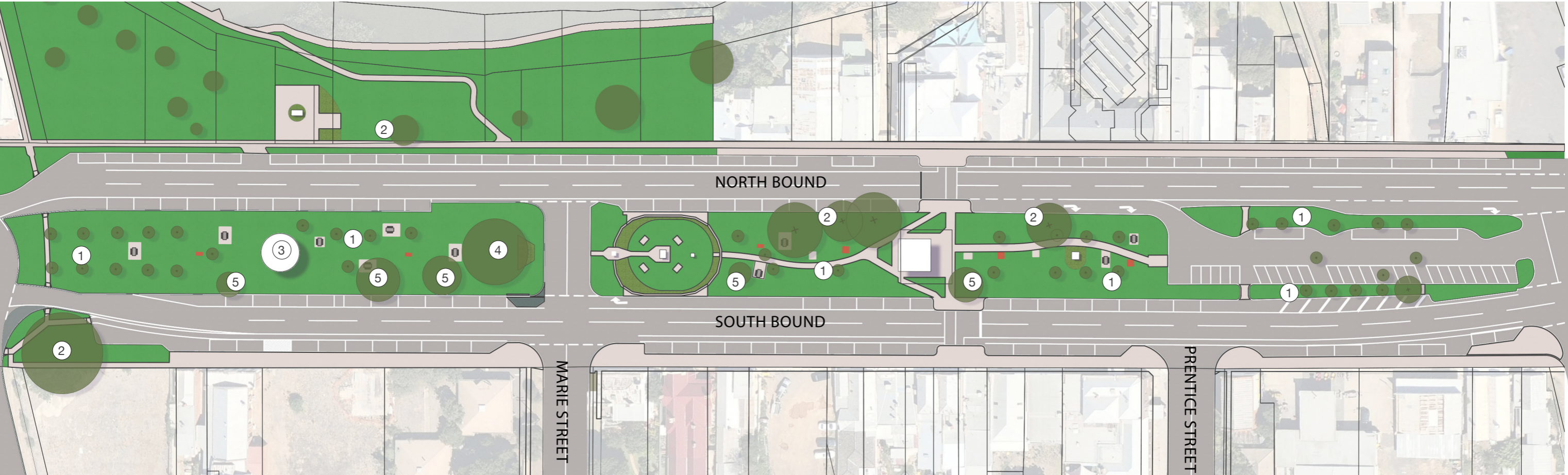


Opportunities:

- Remove trees impacted by powerlines.
- Reinforce the charcater of the local river red gums with scultural elements.
- Revitalise existing garden beds with resilient species.
- Create a consistant street tree outcome (via both in-ground and raised planter boxes).
- New stormwater sensitive urban design within High Street.
- Low boarder planting to existitng built out kerb intersections.
- Opportunity to re-align the north bound road around the eastern side of the water tank, to create a larger open space.

LEGEND

- ① FORMAL TREE PLANTING
Trees appear approx. 3 to 5 years old.
- ② MATURE LONDON PLAN TREE
Located within verge, acting as a gateway to central business district.
- ③ WATER TOWER
A dominant landmark surrounded by natural vines.
- ④ RIVER RED GUM
Indicative of the surrounding landscape.
- ⑤ MATURE TREES IMPACTED BY POWERLINES.
Degrading the visual aesthetic



Opportunities:

- Existing landmarks to include smart phone technology and night time illumination, to enhance story telling experiences.
- Create a central plaza wihtin the median, with an intergrated amenity block.
- Opportunity to re-align the north bound road around the eastern side of the water tank, to create a larger open space.

LEGEND

- ① WATER TOWER

In 1885, a pumping plant was installed on what is now the High Street median strip. As the town developed, the water tower was decommissioned and has been retained and re-purposed as a historical landmark of the town. Feature climbing species have been introduced to soften the visual impacts.
- ② NAGAMBIE CENOTAPH AND MEMORIAL CLOCK TOWER

The Nagambie War Memorial and Clock Tower are feature landmarks on High Street. These monuments were erected to commemorate those from Nagambie and its district who served and gave their lives in World War 1 and World War 2.
- ③ BLACK CAVIAR STATUE

The undefeated mare ‘Black Caviar’ was born in Nagambie in 2006 and is highly celebrated by the local community. To commemorate the champion horse’ highly successful racing career, a full-size bronze statue was installed in front of Lake Nagambie in October, 2013.
- ④ JACOBSONS LOOK OUT

The feature open green space is parallel to High Street and includes active connections to surrounding green spaces within the town. The topography affords the community residence and visitors significant views of Nagambie Lake.
- ⑤ OLD FLOUR MILL

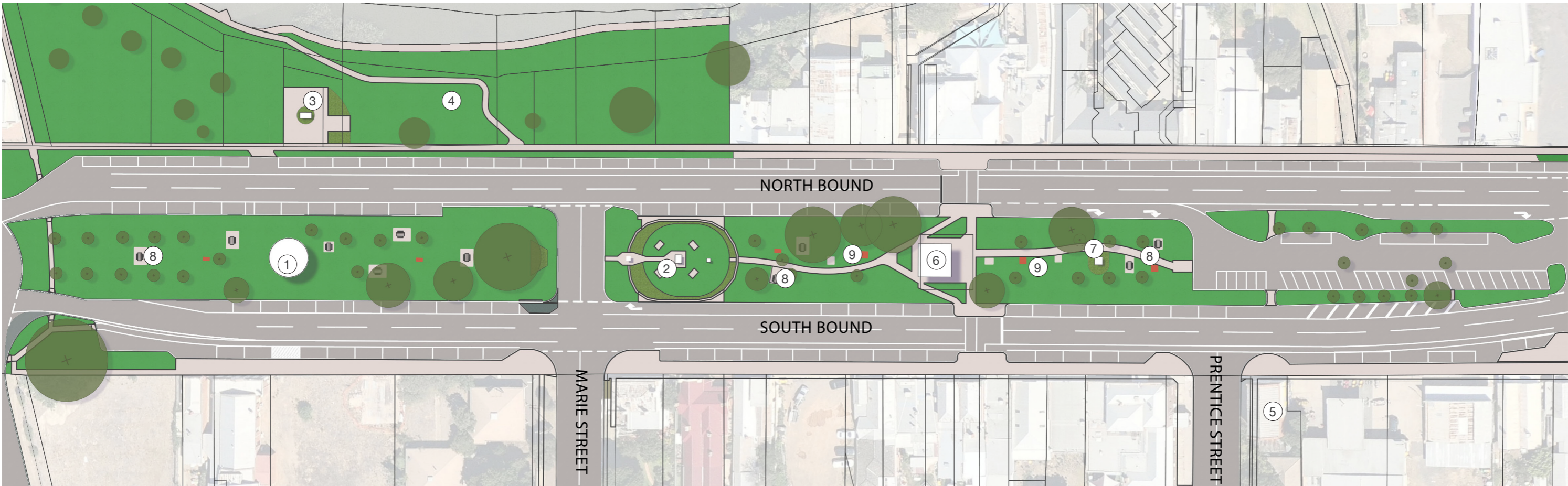
Historic building on corner of High Street and Prentice Street that features original brickwork from its construction in the early 1900’s.
- ⑥ PUBLIC TOILETS

Located adjacent to the main High Street pedestrian crossing. These amenities are central to the commercial and retail business precinct that occupies the Northern end of High Street.
- MAJOR MITCHEL MONUMENT

A large cairn in the middle of the main street marking a place that Major Thomas Mitchell passed during one of his exhibitions through inland Victoria.
- ⑦
- ⑧ PICNIC TABLES

There are currently 10 picnic tables within the median strip. Materials vary from timber, composite timber, and steel.
- ⑨ RUBBISH BINS

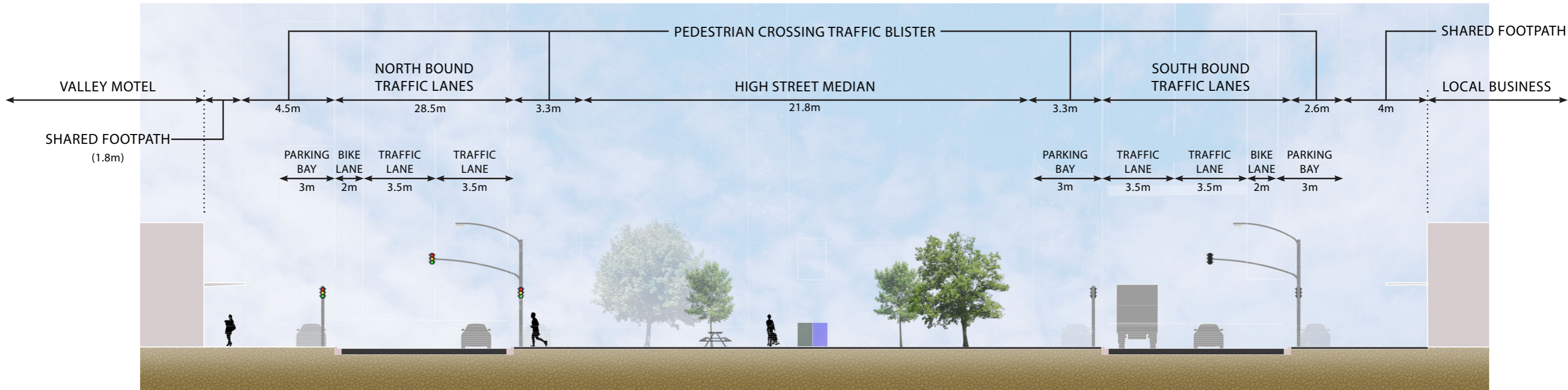
Council standard bins located scarcely throughout central median strip. Materials vary from timber, plasti and steel.



SECTION A-A



SECTION B-B



The aim of the streetscape masterplan is to improve the commercial vitality of High Street by delivering infrastructure improvements that:

- creates a distinctive sense of place for local residents, visitors and businesses;
- provides a high-quality, attractive public space where people want to visit and shop; and
- improves the attractiveness, comfort, accessibility, connectivity and safety of High Street.

Key attributes of the masterplan include quality pavement, street trees, garden beds, gathering nodes, furniture and public art.



Public Art



Lighting Projections



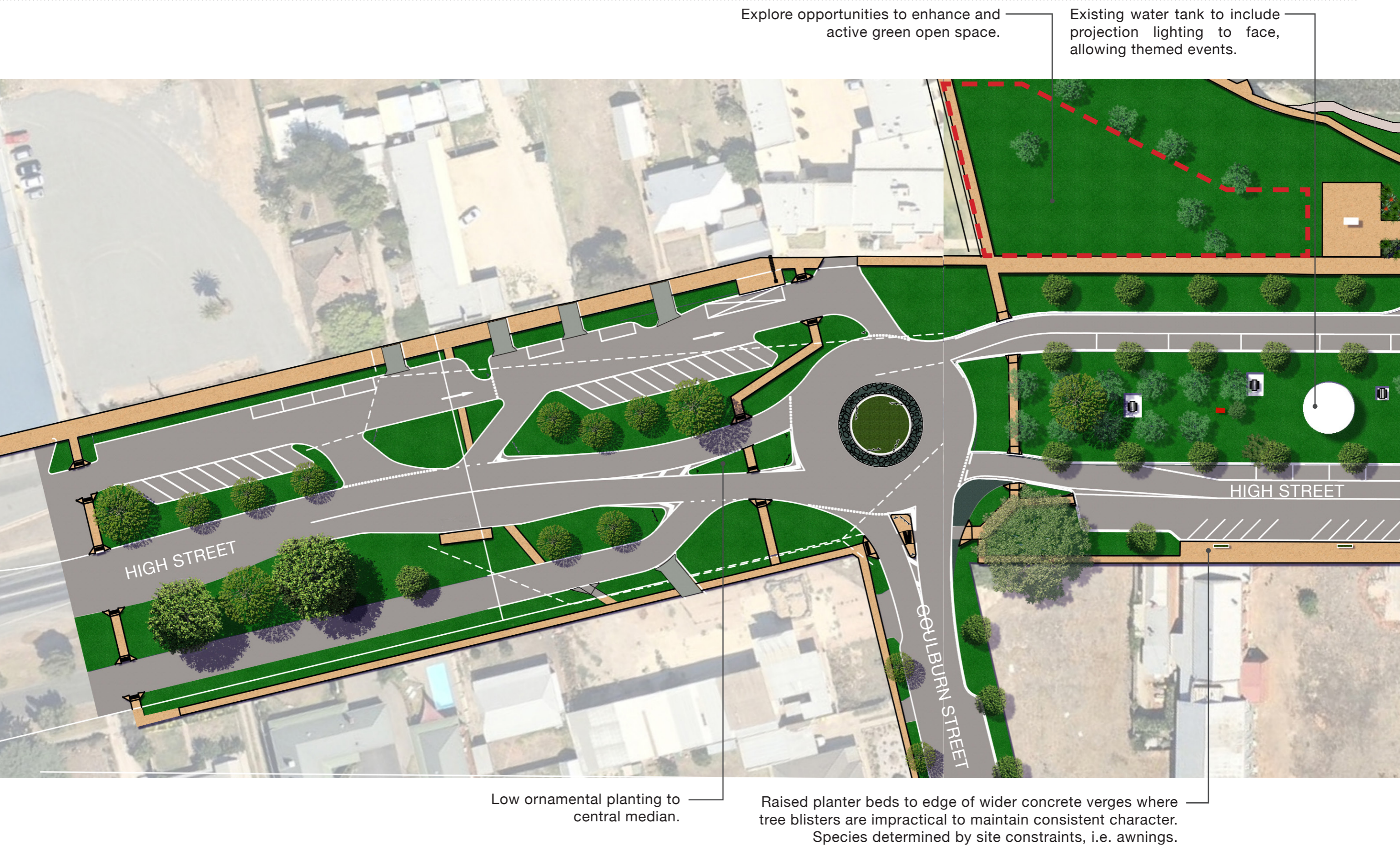
Civic Space



Architecturally Designed Toilet Block



Water Sensitive Urban Design (WSUD)



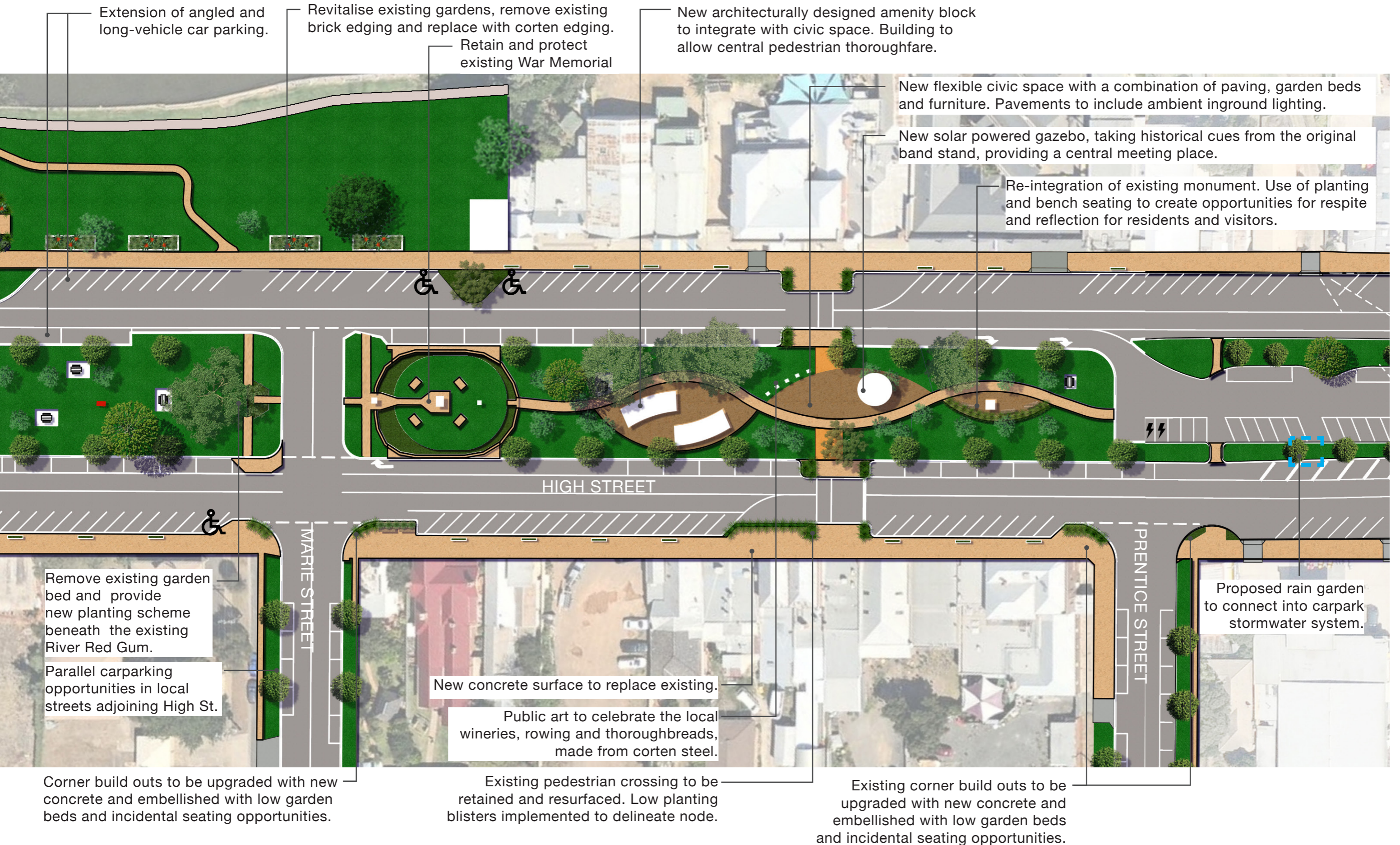
Explore opportunities to enhance and active green open space.

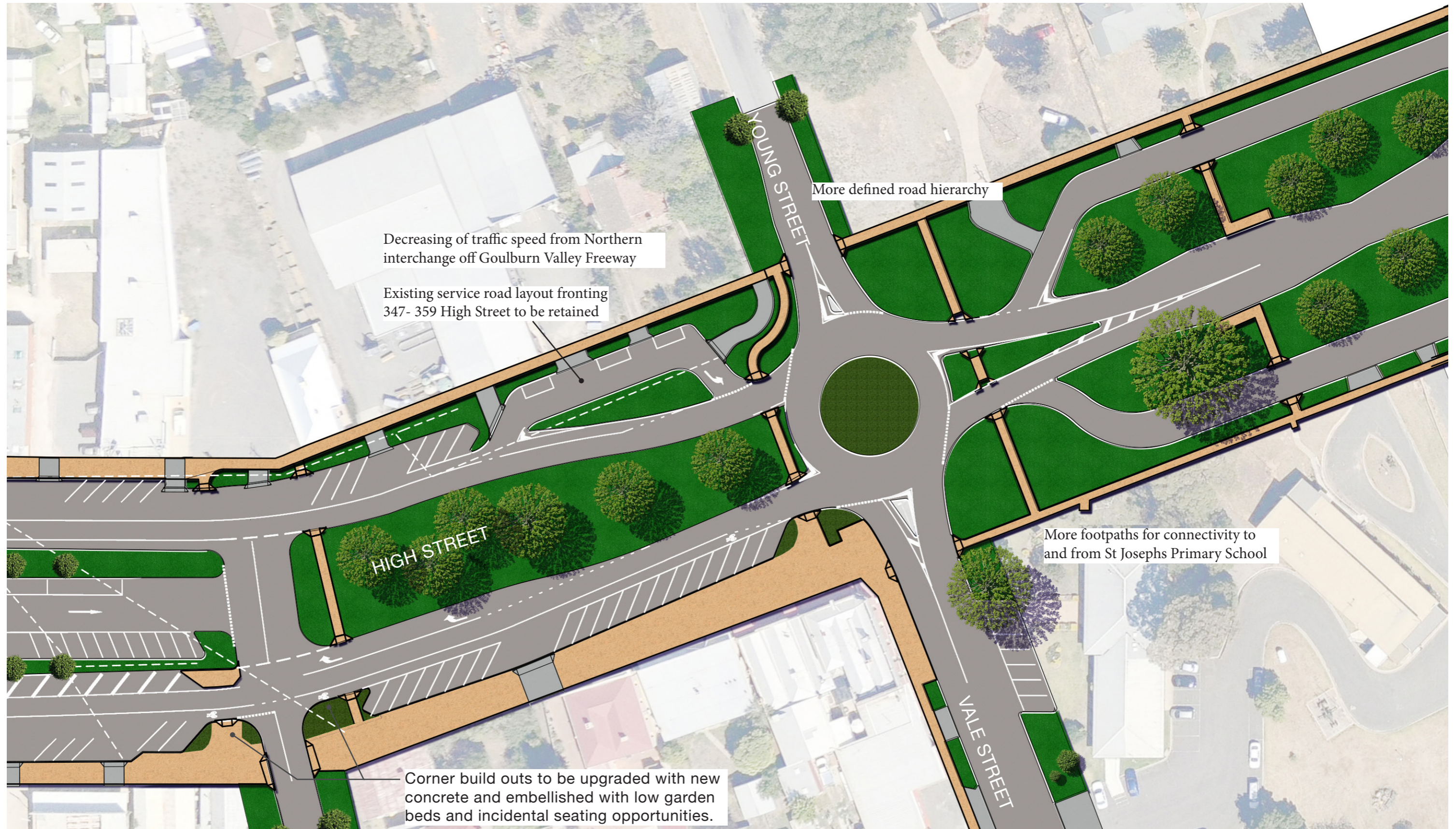
Existing water tank to include projection lighting to face, allowing themed events.

Low ornamental planting to central median.

Raised planter beds to edge of wider concrete verges where tree blisters are impractical to maintain consistent character. Species determined by site constraints, i.e. awnings.

Nagambie Streetscape Masterplan







Revitalise garden beds fronting Jacobs Outlook. Replace brick edging with corten garden edging (FormBoss or equivalent). New planting to include low maintenance native grasses and creeping grevillea species.

Existing footpath to be widened to suit new verge (refer adjoining image). New concrete surface to match pavement located outside the Brewery.

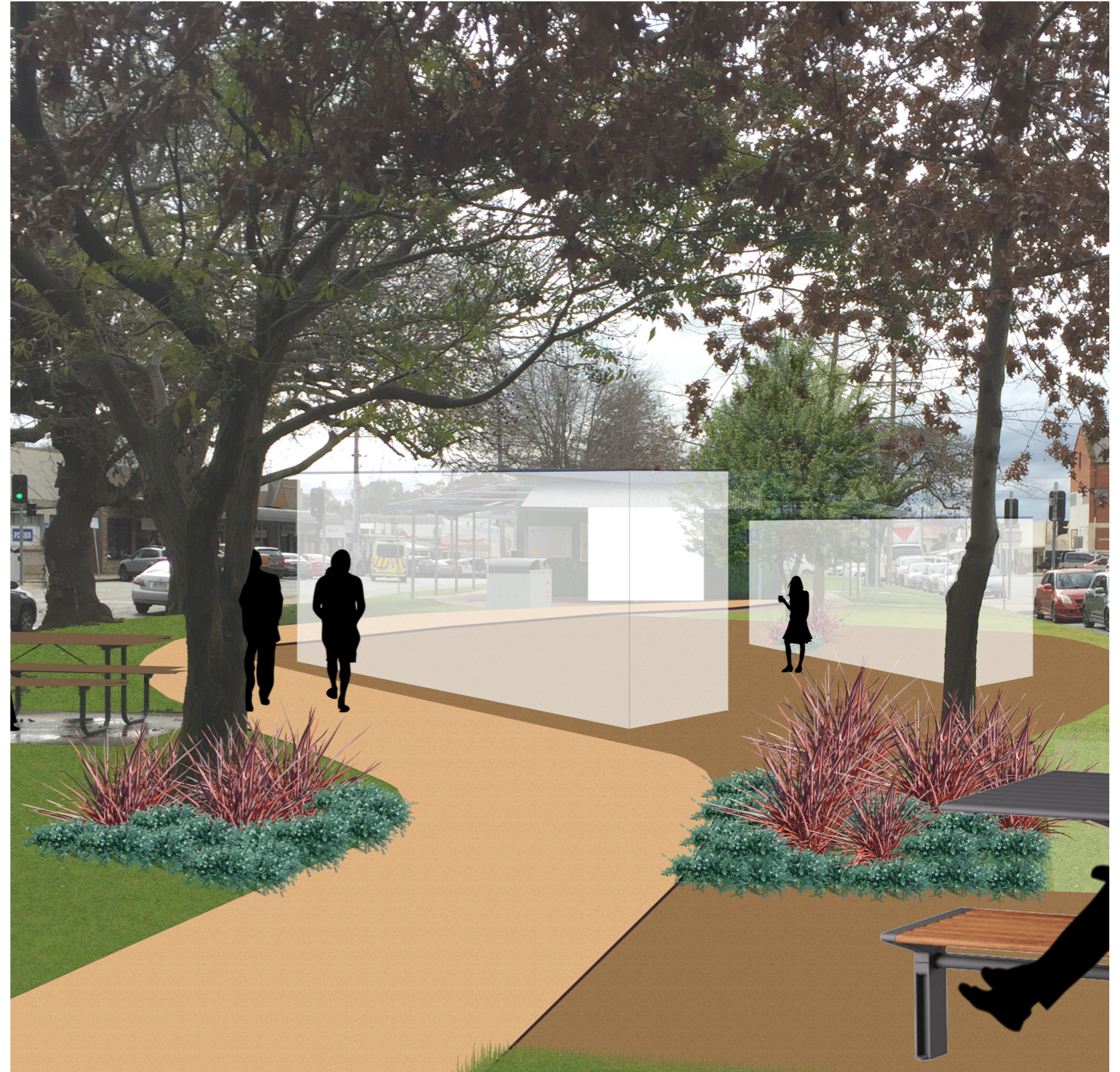


Currently there is confusing linework to the carriage way fronting Jacobs Outlook. This concept seeks to widen the footpath and verge into the current roadside carpark area. Small, ornamental trees are proposed to line the streets at approximately 10m intervals. An increased verge will also facilitate more space for the local markets.

Street trees to be a deciduous species, providing warmth in winter and shade through summer.



Revitalise existing footpath (including infill pit lids) with new concrete surface to match pavement located outside the Brewery. Low barrier planting to intersections. Public art to replace signage where possible, to create further interest and contribute to the overall story of Nagambie i.e references to rowing, wineries and thoroughbred breeding.



A central plaza located within the median, with the inclusion of inground lighting. A new amenity block to be architecturally designed, with a high level of integration with the proposed plaza area; materials to be contextually appropriate the local area i.e. recycled timber / composite material / corten steel.



Lisboa Picnic Setting | Commercial Systems Australia
TM4702-1



Lisboa Bench | Commercial Systems Australia
TM4701



Lisboa Seat | Commercial Systems Australia
TM4700



Lisboa Bin Enclosure | Commercial Systems Australia
LR6300



Lisboa Drinking Fountain | Commercial Systems Australia
DF5200



Lisboa Bike Leaning Rail | Commercial Systems Australia
BR7300

COMMERCIAL SYSTEMS AUSTRALIA

- 01 The Lisboa picnic setting.
Mild steel frames with Australian hardwood timber battens.
Length: 1800mm | Width: 466mm, 730mm | Height: 450mm, 750mm
- 02 The Lisboa bench.
Mild steel frames with Australian hardwood timber battens.
Length: 1800mm | Width: 466mm | Height: 450mm
- 03 The Lisboa seat.
Mild steel frames with Australian hardwood timber battens.
Length: 1800mm | Width: 545mm | Height: 890mm
- 04 The Lisboa bin enclosures (120L).
Stainless steel.
Width: 565mm | Depth: 565mm | Height: 1302mm
- 05 The Lisboa drinking fountain.
Stainless steel.
Width: 890mm | Depth: 300mm | Height: 960mm
- 06 The Lisboa bike leaning rail.
Stainless steel.
Length: 510mm | Width: 75mm | Height: 900mm



Image: Nagambie Brewery & Distillery.
The furniture suite uses natural timber with black steel frabrication, responding to materials found within the built form of High Street.

TREES



Lagerstroemia indica
Crepe Myrtle



Quercus palustris
Pin Oak



Cercis canadensis 'Forest Pansy'
Forest Pansy



Acer platanoides 'Crimson Sentry'
Norway Maple



Acer palmatum
Japanese Maple

SHRUBS



Raphiolepis umbellata
Yeddo hawthorn



Westringea fruticosa
Coastal Rosemary



Darwinia citriodora
Lemon-centred myrtle



Strelitzia reginae
Bird of paradise



Rosmarinus officinalis
Common rosemary

GROUND COVER



Phormium tenax
New Zealand Flax



Liriope muscari 'Evergreen Giant'
Lily Turf



Arctotis varieties
African daisy



Anigozanthus sp.
Kangaroo Paw



Callistemon viminalis 'Little John'
Bottle Brush

CASCADING VINES



Coprosma x kirkii
Kirk's trailing coprosma



Dichondra argentea 'silver falls'
Silver Falls



Myoporum parvifolium
Creeping boobialla



Tropaeolum majus
Nasturtiums



Grevillea 'bronze rambler'
Bronze rambler

TREES



Lagerstroemia indica
Crepe Myrtle



Quercus palustris
Pin Oak



Ulmus parvifolia 'Todd'
Chinese Elm



Eucalyptus camaldulensis
River Red Gum



Acer palmatum
Japanese Maple

BORDER SHRUBS



Acmeria allyn 'Magic'
Dwarf lilly pilli



Buxus sempervirens
English Buxus



Murraya paniculata
Jasmine-orange



Photinia fraseri 'Red Robin'
Red Robin



Viburnum tinus 'Laurustinus'
Laurustinus

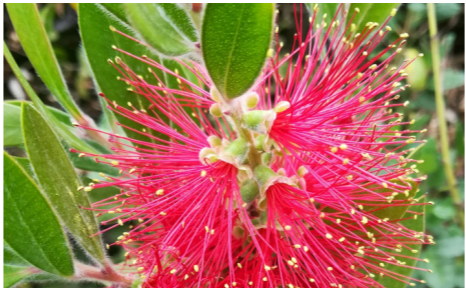
SHRUBS



Eremophila 'Silver Spread'
Emu Bush



Convolvulus cneorum
Silver Bush



Callistemon viminalis 'Little John'
Bottle Brush



Philodendron 'Rojo Congo'
Philodendron



Westringia 'Wynyabbie Gem'
Wynyabbie Gem

GROUND COVER



Dietes grandiflora
Wild Iris



Liriope muscari 'Monroe White'
Monroe White



Myoporum parvifolium
Creeping boobialla



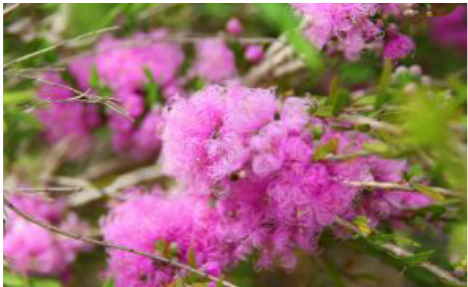
Anigozanthus 'Bush Ballad'
Kangaroo Paw



Iris sibirica 'White'
White Iris

Raingardens need particular plants with roots that help keep the filter media absorbent, and break down the pollution. Only use plants that can grow in sandy soils and tolerate dry conditions for several weeks in between rains.

SHRUBS



Melaleuca thymifolia
Honey Myrtle



Banksia robur
Swamp banksia



Melaleuca linarifolia
Snow in summer

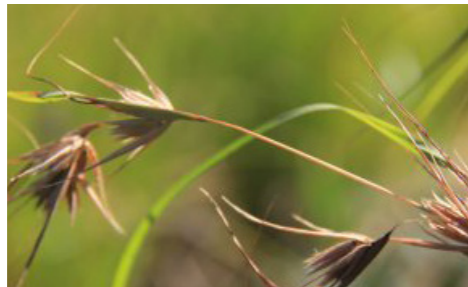


Gahnia aspera
Saw Sedge



Leptospermum liversidgei
Olive Tea Tree

GRASSES



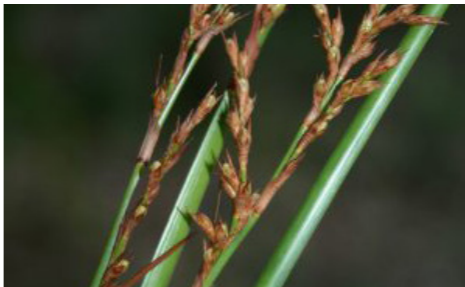
Themeda triandra
Kangaroo Grass



Lomandra leucocephala
Woolly Mat Rush



Lomandra longifolia
Spiny-headed Mat Rush



Lepidosperma laterale
Variable sword-sedge



Lomandra hystrix
River Mat Rush

GRASSES



Imperata cylindrica
Blady grass



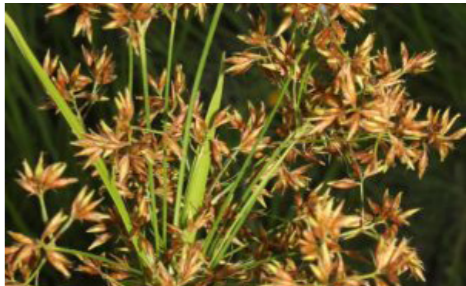
Ficinia nodosa
Knobby club-sedge



Carex appressa
Tall Sedge



Juncus usitatus
Common rush



Rhynchospora corymbosa
Matamat

Stage 1: Landscaping					
Item	Description	Unit	Qty	Rate	Amount
0	PRELIMINARIES				
A	Site establishment - Allowance to establish on site, site storage, briefing, accomodation and to remove landscape associated rubbish during works	item	1	\$10,000.00	\$10,000.00
SUB TOTAL					\$10,000.00
1	SURFACE PREPARATION				
A	Rip and cultivate subgrade to a depth of 150mm to all planting areas	m2	600	\$1.00	\$600.00
B	Rip and cultivate subgrade to a depth of 150mm to all turfed areas	m2	2610	\$1.00	\$2,610.00
SUB TOTAL					\$3,210.00
2	TOPSOIL WORKS				
A	Import and spread imported topsoil underlay to planting areas only (minimum depth 300mm).	m3	90	\$85.00	\$7,650.00
B	Import and spread imported topsoil underlay to turf areas only (minimum depth 75mm).	m3	98	\$62.40	\$6,115.20
SUB TOTAL					\$13,765.20
3	SOFTSCAPE				
A	Rain Garden (approx. 5 x 2.5m area). Open garden with porous infill and macrophyte planting. Considerate of traffic control during construction.	item.	1	\$20,000.00	\$20,000.00
B	Supply and Installation including excavation - 100Ltr Trees - Aligning the existing Central Median Inclusive of timber stakes (2 x 40 x 40mm) 1200mm above ground with hessian webbing stapled to stakes. (To central median uporade).	no.	305	\$280.00	\$85,400.00
C	Supply and Installation including excavation - 100Ltr Trees - Proposed Verge extension adjacent to Jacobs Lookout.Inclusive of timber stakes (2 x 40 x 40mm) 1200mm above ground with hessian webbing stapled to stakes. (To central median uporade).	no.	55	\$280.00	\$15,400.00
D	Supply and Installation including excavation - 200mm Shrubs (1 per 1m2)	no.	820	\$18.00	\$14,760.00
E	Supply and Installation including excavation - 140mm Shrubs and Groundcovers (3 per 1m2)	no.	7400	\$9.00	\$66,600.00
F	Supply and Installation of double grind Forest Mulch (Minimum Depth 100mm) to all planting beds	m3	330	\$68.80	\$22,704.00
SUB TOTAL					\$278,814.40
10% CONTINGENCY					\$58,033.28
STAGE 1 TOTAL					\$336,847.68

Note: This schedule of quantities and items is provided for guidance only, subject to detail design. All central median street tree plantings to be confirmed in detailed design stage.

Streetscape Masterplan - Staging Plan.



Stage 2: Landscaping, Street Furniture & Pavement Treatments					
Item	Description	Unit	Qty	Rate	Amount
0	PRELIMINARIES				
A	Site establishment - Allowance to establish on site, site storage, briefing, accomodation and to remove landscape associated rubbish during works	item	1	\$10,000.00	\$10,000.00
SUB TOTAL					\$10,000.00
1	DEMOLITION				
A	Break up and remove existing concrete pavement (100mm), non reinforced, by machine. Area: To the veroes of High Street as shown on the Streetscape Masterplan.	m2	4800	\$110.00	\$528,000.00
B	Break up and remove existing concrete pavement (100mm), non reinforced, by machine. Area: To the median strio of High Street as shown on the Streetscape Masterplan.	m2	250	\$110.00	\$27,500.00
C	Remove and dispose existing old furniture: Old steel and timber picnic settings (5), concrete and timber bench seat (1), aluminium bench seats (4), Aluminium rubbish bins (6).	item.	1	\$12,000.00	\$12,000.00
D	Remove and dispose existing garden beds. Area 1: Old garden beds with brick edging above Jacobs Look Out. Area 2: Old garden with timber sleepers located in central median, beneath mature river red gum.	item.	1	\$5,000.00	\$5,000.00
SUB TOTAL					\$572,500.00
2	SURFACE PREPARATION				
A	Rip and cultivate subgrade to a depth of 150mm to all planting areas	m2	300	\$1.00	\$300.00
B	Rip and cultivate subgrade to a depth of 150mm to all turfed areas	m2	1305	\$1.00	\$1,305.00
SUB TOTAL					\$1,605.00
3	TOPSOIL WORKS				
A	Import and spread imported topsoil underlay to planting areas only (minimum depth 300mm).	m3	90	\$85.00	\$7,650.00
B	Import and spread imported topsoil underlay to turf areas only (minimum depth 75mm).	m3	98	\$62.40	\$6,115.20
SUB TOTAL					\$13,765.20
4	SOFTSCAPE				
A	Rain Garden (approx. 5 x 2.5m area). Open garden with porous infill and macrophyte planting. Considerate of traffic control during construction.	item.	1	\$20,000.00	\$20,000.00
B	Supply and Installation including excavation - 100Ltr Trees - Aligning the existing Central Median Inclusive of timber stakes (2 x 40 x 40mm) 1200mm above ground with hessian webbing stapled to stakes. (To central median upgrade).	no.	28	\$280.00	\$7,840.00
C	Supply and Installation including excavation - 100Ltr Trees - Proposed Verge extension adjacent to Jacobs Lookout, inclusive of timber stakes (2 x 40 x 40mm) 1200mm above ground with hessian webbing stapled to stakes. (To central median upgrade).	no.	5	\$280.00	\$1,400.00
D	Supply and Installation including excavation - 200mm Shrubs (1 per 1m2)	no.	75	\$18.00	\$1,350.00
E	Supply and Installation including excavation - 140mm Shrubs and Groundcovers (3 per 1m2)	no.	675	\$9.00	\$6,075.00
F	Supply and Installation of double grind Forest Mulch (Minimum Depth 100mm) to all planting beds	m3	30	\$68.80	\$2,064.00
G	Supply and installation of New Grade-A Turf to proposed High St verge extension, adajacent to Jacobs Look Out.	m2	1,305	\$7.00	\$9,135.00
SUB TOTAL					\$47,864.00

Note: This schedule of quantities and items is provided for guidance only, subject to detail design. All central median street tree plantings to be confirmed in detailed design stage.

Streetscape Masterplan - Staging Plan.



5	HARDSCAPE WORKS				
A	Pavement Type 1: Supply and Install Concrete Footpath (125mm thickness). Location: High Street Verges. Finish: Coloured concrete with exposed aggregate. Refer to plans and material schedule for further information.	m2	5300	\$150.00	\$795,000.00
B*	Pavement Type 2: Supply and Install Concrete Footpath (125mm thickness). Location: Central Median. Finish: Coloured concrete with exposed aggregate. Refer to plans and material schedule for further information.	m2	550	\$150.00	\$82,500.00
SUB TOTAL					\$877,500.00
6	FURNITURE/FIXINGS				
A	Supply and install new Picnic Setting (1800mm table and seats).	no.	4	\$4,825.00	\$19,300.00
B	Supply and install new Bench Seats.	no.	8	\$2,120.00	\$16,960.00
C	Supply and install new Raised Planter Beds (Activated streetscape corners)	no.	11	\$2,500.00	\$27,500.00
D	Supply and install new Rubbish Bins.	no.	6	\$2,850.00	\$17,100.00
E	Supply and install new Drink Fountain (To central median upgrade).	no.	2	\$4,285.00	\$8,570.00
F	Supply and install new Bike Racks.	no.	2	\$2,000.00	\$4,000.00
G	Supply and install Bollard Lighting (To central median upgrade).	no.	20	\$3,100.00	\$62,000.00
H	Supply and install pole Mounted Lighting. (To central median upgrade).	item.	20	\$5,200.00	\$104,000.00
I	Supply and install new In ground Up-lighting (To central median upgrade).	item.	20	\$3,840.00	\$76,800.00
J	Exterior projection lighting to water tank with external controller. Lighting to be capable of projecting textures, patterns and graphics. Projection lighting location on two sides of water tower. Indicative product: https://www.prolights.it/product/MOSAICOXL	no.	2	\$25,000.00	\$50,000.00
SUB TOTAL					\$386,230.00
Maintenance					
7	NOTE: Please include standard maintenance log books as part of maintenance regimes, logged maintenance regimes will form an appendices to monitoring and reporting documentation prepared by Planit Consulting (6 month intervals)				
Year 1	Allowance Only: Watering Allowance for new planting only @ 2 visits per week for a total of 3 months, following Practical Completion.	VISITS	24.00	\$4,100.00	\$98,400.00
Year 1	General Maintenance: Allowance for 2 days (14 hours) for general spot spraying, per month.	MONTH	12.00	\$3,500.00	\$42,000.00
MAINTENANCE TOTAL					\$140,400.00
SUB TOTAL					\$2,049,864.20
10% CONTINGENCY					\$409,972.84
STAGE 2 TOTAL					\$2,459,837.04

Stage 3: High St & Vale St Round-a-bout Works					
0	PRELIMINARIES				
A	Site establishment - Allowance to establish on site, site storage, briefing, accomodation and to remove landscape associated rubbish during works	item	1	\$5,000.00	\$5,000.00
				SUB TOTAL	\$5,000.00
1	Vale Street & High Street Round-a-bout				
A	Excavate existing ground for new garden beds, nom 450mm depth	m3	55	\$15.00	\$825.00
D	Garden bed preparation to include: 150mm ripped and cultivated subgrade and 300mm depth imported topsoil	m3	55	\$65.00	\$3,575.00
E	Supply and install shrub planting: 140mm container	no.	450	\$7.00	\$3,150.00
F	Supply and install feature planting: 300mm container	no.	100	\$48.00	\$4,800.00
G	Supply and install turf to round-a-bout	no.	200	\$7.00	\$1,400.00
				SUB TOTAL	\$171,655.20
Maintenance					
2	NOTE: Please include standard maintenance log books as part of maintenance regimes, logged maintenance regimes will form an appendices to monitoring and reporting documentation prepared by Planit Consulting (6 month intervals)				
Year 1	Allowance Only: Watering	VISITS	24.00	\$4,100.00	\$98,400.00
Year 1	General Maintenance:	MONTH	12.00	\$3,500.00	\$42,000.00
				MAINTENANCE TOTAL	\$140,400.00
				SUB TOTAL	\$317,055.20
				10% CONTINGENCY	\$77,451.04
				STAGE 3 TOTAL	\$394,506.24

Stage 4: Amenities Block					
0	PRELIMINARIES				
A	Site establishment - Allowance to establish on site, site storage, briefing, accomodation and to remove landscape associated rubbish during works	item	1	\$5,000.00	\$5,000.00
				SUB TOTAL	\$5,000.00
1	Amenities Block				
A	Remove and dispose existing toilet block located within median strip of High Street.	Allowance	1	\$80,000.00	\$80,000.00
B	New architecturally designed toilet amenity block (Male and female).	item.	1	\$400,000.00	\$400,000.00
				SUB TOTAL	\$480,000.00
				SUB TOTAL	\$485,000.00
Exclusions				10% CONTINGENCY	\$137,000.00
Consultation with civil engineering to determine appropriate costings for roundabout works to Vale Street and High Street Roundabouts works				STAGE 4 TOTAL	\$622,000.00
Future landscape, engineering and artists consultation works to the Champion Walks Area					
Any additional restoration works to the war memorial and water tower					
No allowance for any consultant fees to design the amenities block and building certification					
No allowance for preliminaries including site establishment, HSEQ management, insurances and traffic control measures					
No allowance for coordination between water, electrical, telecommunication, data and gas authorities should manholes need to be relocated or raised or upgrade of services etc					
Erosion and sediment control measures					
Natspec certification of tree stock					
Irrigation to all planting and turfed areas					
Water truck to all softscape areas during construction and prior to practical completion					
Security site fencing					
				TOTAL PROJECT COST (EXC. GST)	\$3,813,190.96

Note: This schedule of quantities and items is provided for guidance only, subject to detail design. All central median street tree plantings to be confirmed in detailed design stage.

Streetscape Masterplan - Staging Plan.





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