



EUROA EASTERN GATEWAY DEVELOPMENT PLAN

DRAFT B

72 Golf Course Road, Euroa

August 2022



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1. Introduction

The Euroa Eastern Gateway Development Plan (Development Plan) relates to the property at 72 Golf Course Road. The property is 66.5ha of undeveloped land located between Euroa Main Road and the Hume Freeway. The southern portion of the property is zoned for low-density residential development.

The Development Plan area has convenient vehicle access to the Hume Freeway and the Euroa Town Centre via Euroa Main Road. The Euroa Golf Club to the east and Euroa Arboretum to the west are both within easy walking distance from the site and provide significant amenity to the local area. These include an 18-hole golf course, club house and outdoor barbecue and picnic facilities at the Golf Club along with a nature reserve, picnic facilities, a dam for swimming and fishing and walking tracks at the Arboretum.

This Development Plan identifies the potential for approximately 105-125 low density residential lots and a lifestyle village comprised of roughly 150 independent living units. This plan will retain all significant trees onsite and provide an attractive interface with the Euroa Arboretum. It will create a new shared path network providing convenient pedestrian and cycle connections between the development plan area and the Euroa Arboretum, the Euroa Golf Club and the Euroa Town Centre more broadly. These new features will add to this amenity-rich area and deliver a unique lifestyle location for future residents.

This Development Plan is the next stage of strategic planning intended to address the requirements of the Strathbogie Planning Scheme and ensure the property

is developed in an orderly manner. It has been informed by the following background works and reports which form part of the development plan:

- Site Features and Levels Survey (Webster Survey Group)
- Arboricultural Assessment and Preliminary Report (TreeLogic)
- Biodiversity Assessment (Ecology and Heritage Partners)
- Vegetation Management Plan (Ecology and Heritage Partners)
- Bushfire Risk Assessment (Ecology and Heritage Partners)
- Preliminary Environmental Site Assessment (Atma Environmental)
- Drainage and Flood Investigation (Afflux Consulting)
- Cultural Heritage Letter of Advice (Ecology and Heritage Partners)
- Road Traffic Noise Assessment (ARUP)
- Servicing and Utilities Infrastructure (Terraco)
- Traffic Engineering Assessment (Traffix Group)
- Stormwater Management Plan (Afflux)
- Cultural Heritage Advice (Ecology and Heritage Partners)



Figure 1 - Development Plan Area



2. Site Context

The development plan area comprises approximately 66.5ha of currently undeveloped land located roughly 1.5km west of the Euroa Town Centre. The site is bounded by Euroa Main Road to the north, Golf Course Road to the east, Hume Hwy to the south and the Euroa Arboretum to the west.

Euroa Main Road provides vehicle access from the development plan area to both the Hume Freeway and the Euroa Town Centre. Temporary vehicle access to the site is currently provided from Golf Course Road. Golf Course Road is an unmade rural road. The development plan area has an irregular shape as shown above in Figure 1.

The following land uses make up the surrounding area:

- A small number of dwellings are located to the north of the development plan area in the portion of land located between Euroa Main Road and Golf Course Road. The majority of these dwellings are accessed via Golf Course Road with one dwelling accessed from Euroa Main Road. A variety of outbuildings, sheds and water tanks are located in the areas around and behind the dwellings.
- An area of farmland with various outbuildings and an informal horse track is located on the opposite side of Euroa Main Road, north of the development plan area.
- The Euroa Wastewater Facility and Euroa Tip are located northwest of the development plan area on the opposite side of Euroa Main Road. These facilities are accessed from Euroa Main Road via Cowells Lane. The Waste Water facility provides sewerage treatment and disposal for the local area. Treated water from the facility is made available for a variety of uses throughout the local community.

- The Euroa Arboretum is located west of the development plan area and is access directly from Euroa Main Road. The Arboretum includes a nature reserve for native flora and fauna, picnic facilities, a dam for swimming and fishing, walking tracks and other amenities.
- Farmland lies to the south of the development plan area on the opposite side of the Hume Freeway. The area is used primarily for livestock grazing.
- The Euroa Golf Club is located to the east of the site on the opposite side of Golf Course Road. The Golf Club extends from the Hume Freeway in the south all the way north to the Euroa Main Road. The Golf Club is accessed from Euroa Main Road via Gold Course Road and contains a clubhouse with bar facilities, and a dining area for 100 people. An outdoor barbecue and covered picnic facility are located just to the south of the main clubhouse. Maintenance and storage sheds are located 150m south of the clubhouse along Golf Course Rd.
- The Euroa Town Centre is located roughly 1.5km to the east along Euroa Main Road. The Town Centre contains the local shops, community facilities, restaurants, and cafes.

These land uses are shown in Figure 2 on the following page.



Figure 2 - Site Context

Letters on the plan refer to photo locations in Section 2.1.

2.1. Site Context Photos

A – Euroa Main Road –
looking south towards the site



B – Golf Course Road (North)



C – Dwelling to the north of
the site, accessed from Golf
Course Road





D – Golf Club Parking and Clubhouse



E - Golf Course Road (South)



F – Hume Freeway Interface



G – Culverts under the Hume Freeway



H – Golf Course



I – Golf Club Dam near Hume Freeway





J – Euroa Arboretum near
Euroa Main Road



K – Euroa Arboretum Dam



L – Euroa Arboretum
Boardwalk





3. Site Description

The subject site consists of one large land holding which is used primarily for livestock grazing. There are currently no dwellings or structures of any kind present on the site. The site is currently accessed via a gate on Golf Course Road.

Barbed wire fencing lines the property boundaries on all sides. There is also fencing running east-west and north-south at various locations across the site which provide smaller areas for livestock containment within the broader site.

The landform is mostly flat with a gradual 10m fall over the 1km stretch from the Hume Freeway to the northern most part of the property. There are two small dams on the site, one in the northern corner and another central to the site, towards the Arboretum.

While most of the site is clear from any significant vegetation, there is a large group of native trees along the western boundary, several small groups central to the site, a group of trees in the southeast corner, and a few small groups running along the low point between the Golf Course and the northern dam.

There is 434m of property frontage along Euroa Main Road, 733m of boundary with the Euroa Arboretum, 841m of frontage to Golf Course Road and 690m of frontage along the Hume Freeway.

Letters on the plan below refer to Site Photos in Section 3.1.



Figure 3 - Site Aerial with Title Boundary

Letters on Figure 3 relate to Site Photos in Sections 3.1 and 3.2

3.1. Site Photos

M – View from Euroa Main Road and 2 groups of large trees.



N – Dam and Electricity Poles in northern corner of the site.



O – Native Vegetation along Euroa Main Road



P– View from Golf Course Road towards the Hume Freeway



Q – Groups of Trees at low point near Golf Course Road



R – Trees in southeast corner of the site.





S – View of Balmattum Hill from western side of the site



T – Cattle Ramp near boundary of Euroa Arboretum.



U – Group of large Native Trees along the western boundary.





V – View north along shared boundary with the Euroa Arboretum



W – View of Hume Freeway at southern boundary of the site.



X – Two groups of large native trees within the Farm Zone, central to the site.





4. Policy Context

The *Strathbogie Planning Scheme* includes relevant zones, overlays and local planning policies which are summarised below.

4.1. Planning Policy Framework

Clause 11.02 Managing Growth

This clause relates to making a 15-year land supply available for residential, commercial, retail, industrial, recreational, institutional, and other community uses.

Clause 12.01 – Biodiversity

Clause 12.01 relates to protection of and enhancement of Victoria's Biodiversity. This includes ensuring that there is no net loss to biodiversity as the result of the removal, destruction or lopping of native vegetation.

Clause 13.02 – Bushfire

This clause is to strengthen the resilience of settlements and communities to bushfire through risk-based planning that prioritises the protection of human life. This can be done through bushfire hazard identification and assessment.

Ensure settlement growth and development approvals can implement bushfire protection measures without unacceptable biodiversity impacts by discouraging settlement growth and development in bushfire affected areas that are important areas of biodiversity.

Clause 13.03 Floodplains

To assist the protection of:

- Life, property and community infrastructure from flood hazard, including coastal inundation, riverine and overland flows.
- The natural flood carrying capacity of rivers, streams and floodways.
- The flood storage function of floodplains and waterways.
- Floodplain areas of environmental significance or of importance to river, wetland or coastal health.

Clause 13.05 Noise

Ensure that development is not prejudiced, and community amenity and human health is not adversely impacted by noise emissions.

Minimise the impact on human health from noise exposure to occupants of sensitive land uses (residential use, child care centre, school, education centre, residential aged care centre or hospital) near the transport system and other noise emission sources through suitable building siting and design (including

orientation and internal layout), urban design and land use separation techniques as appropriate to the land use functions and character of the area.

Clause 16.01 Residential Development

Clause 16 has the objective to facilitate well-located, integrated and diverse housing that meets community needs. It includes the strategy to ensure that an appropriate quantity, quality and type of housing is provided, including aged care facilities and other housing suitable for older people, supported accommodation for people with disability, rooming houses, student accommodation and social housing.

4.2. Zones

Clause 32.03 – Low Density Residential Zone

The majority of the site falls within the Low Density Residential Zone – Schedule 2 (LDRZ). Under the Low Density Residential Zone, a planning permit is required to subdivide land.

The purpose of the Low Density Residential Zone is:

- To implement the to implement the Municipal Planning Strategy and the Planning Policy Framework
- To provide for low-density residential development on lots which, in the absence of reticulated sewerage, can treat and retain all wastewater.

Clause 35.07 – Farming Zone

The Farming Zone (FZ) is applied to small portion of the site which partially abuts Euroa Main Road along the northern site boundary and the Euroa Arboretum along the western boundary.

The purpose of the Farming Zone is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To provide for the use of land for agriculture.
- To encourage the retention of productive agricultural land.
- To ensure that non-agricultural uses, including dwellings, do not adversely affect the use of land for agriculture.
- To encourage the retention of employment and population to support rural communities.
- To encourage use and development of land based on comprehensive and sustainable land management practices and infrastructure provision.



Clause 37.03 – Urban Floodway Zone

A small portion of the development plan area falls within the Urban Floodway Zone (UFZ).

The purpose of the Urban Floodway Zone is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To identify waterways, major floodpaths, drainage depressions and high hazard areas within urban areas which have the greatest risk and frequency of being affected by flooding.
- To ensure that any development maintains the free passage and temporary storage of floodwater, minimises flood damage and is compatible with flood hazard, local drainage conditions and the minimisation of soil erosion, sedimentation and silting.
- To reflect any declarations under Division 4 of Part 10 of the Water Act, 1989.
- To protect water quality and waterways as natural resources in accordance with the provisions of relevant State Environment Protection Policies, and particularly in accordance with Clauses 33 and 35 of the State Environment Protection Policy (Waters of Victoria).

4.3. Overlays

The following Overlays apply to this site:

Clause 42.01 – Environmental Significance Overlay – Schedule 2 (ESO2)

The Environmental Significance Overlay applies to the northwest corner of the site.

The purpose of the overlay is to:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To identify areas where the development of land may be affected by environmental constraints.
- To ensure that development is compatible with identified environmental values.

Schedule 2 of the Clause 42.01 (ESO2) relates specifically to the Euroa Wastewater Management Facility Buffer Area. The facility is located to the northwest of the development plan area.

ESO2 includes a Statement of Environmental Significance which outlines the following:

- The Euroa Waste Water treatment complex provides sewerage treatment and waste water disposal for Euroa.

- Land within this overlay should not be developed for any purpose that might compromise the complex's continued operation or expansion for sewerage and waste water treatment and disposal.

Section 2 of ESO2 outlines the desired environmental objectives of the clause as follows:

A buffer needs to be maintained around the complex to restrict the intensity of housing development in its proximity and to direct residential development at an urban scale away from the complex. This will safeguard the complex's operations and avoid any future conflict with any residential expansion of Euroa. A buffer will also protect existing and future landowners from the consequence of effects of the complex.

Clause 42.02 – Vegetation Protection Overlay – Schedule 2 (VPO2)

VPO2 applies to the western portion of the site which abuts onto the Euroa Arboretum.

The purpose of this overlay is to:

- To protect areas of significant vegetation.
- To ensure that development minimises loss of vegetation.
- To preserve existing trees and other vegetation.
- To recognise vegetation protection areas as locations of special significance, natural beauty, interest and importance.
- To maintain and enhance habitat and habitat corridors for indigenous fauna.
- To encourage the regeneration of native vegetation

Schedule 2 of Clause 42.02 highlights the following:

- Substantial areas of Strathbogie have been modified as a result of agriculture and urban development. The remaining areas of native vegetation are generally confined to larger isolated remnant patches of modified indigenous vegetation mostly on private land and linear connecting remnants of varying widths and quality associated with public roadside, rail and stream frontage reserves.
- The retention and management of linear remnants of indigenous vegetation plays a significant role in achieving the sustainable conservation of the larger isolated remnants of indigenous vegetation and the incumbent biodiversity. Remnant patches and linear reserves provide significant refuge, connectivity and ecological resilience across the landscape. This is particularly the case in the woodland remnants of the Strathbogie Shire.



- Remnant indigenous vegetation provides significant habitat for biodiversity and associated land management benefits such as erosion control and water table regulation.
- Indigenous vegetation consists of those species of vascular plants that grow naturally on the site.
- Naturally means grew on the site prior to European settlement.
- Exotic vegetation includes plants that do not occur naturally on the site.

Clause 43.04 – Development Plan Overlay – Schedule 4 (DPO4) – Eastern Gateway Euroa

DPO4 requires that prior to any application for development, a Development Plan must be prepared to the satisfaction of the Responsible Authority to guide the future subdivision, use and development of land known as Eastern Gateway Euroa.

The Development Plan must demonstrate, as appropriate:

- General consistency with the Euroa & Avenel Rural Residential Development – Development Plan Report April 2010.
- The proposed subdivision layout or the proposed development of the land, including roads, lot size, areas of open space and recreation, pedestrian and bicycle links, equestrian trails, drainage retention areas, and any staging of the development.
- That each lot will be connected to the reticulated sewerage system in accordance with the requirements of Goulburn Valley Water.
- Where accessways cross the 1% AEP floodplain area, they must be designed to ensure no adverse impacts occur to adjoining areas, and to be designed to ensure that the depth of flooding is less than 0.3metres to the satisfaction of the floodplain management authority.
- Building envelope/exclusions area concept plan complying with the following:
 - Building envelopes must not be placed in areas where the water will be greater than 0.3metres deep in a 1% AEP flood event.
 - Natural overland flow paths should be retained in principle.
 - Appropriate building/infrastructure setbacks (a minimum of 30 metres) to water features.
 - Exclusion areas within the Urban Floodway Zone.

- Building and development exclusion areas within remnant vegetation on the western boundary.
- Appropriate setbacks for buildings and infrastructure from the water feature adjacent to the western boundary (a minimum of 30 metres) should be considered in the design layout for the development.
- Responsiveness to the site's constraints and opportunities and adjoining land uses and neighbouring buildings and works.
- The location of any significant environmental, cultural, heritage and/or ecological (faunal and/or floral) features including remnant vegetation, habitat corridors, wetlands, watercourses, fire of flood prone and saline areas, and historic sites.
- Stormwater management methods to ensure no increase in runoff from the site, including the location of any on-site drainage retention facilities.
- Arrangements for the provision of all physical infrastructure to the land including vehicle access arrangements.
- The protection and enhancement of the existing Euroa Arboretum on the western boundary of the site.
- Provision of a landscape buffer along the Euroa Main Road frontage to help define the Eastern Gateway role of the site.

The Development Plan must include, where required by the Responsible Authority:

- An environmental assessment of the land, involving a flora and fauna survey, which, among other things, identifies the health and habitat value of all native vegetation and prepared in accordance with current Biodiversity Assessment Guidelines.
- A vegetation management plan for the remnant vegetation along the western and southern boundaries of the site including consultation with the Euroa Arboretum Committee of Management.
- A drainage and flood investigation report to determine the requirements for mitigating works to manage the retaining and redirecting of flows from the designated water way of the western side of the development plan area. The investigation report will also need to incorporate the Castle Creek anabranch and the minor waterway in the northern portion of the subject site.
- A preliminary survey of the area for aboriginal archaeological sites and preliminary cultural



heritage assessment to determine whether a Cultural Heritage Management Plan, in terms of the Aboriginal Heritage Act 2006, is required.

- A preliminary soil assessment demonstrating the extent of any contaminated soils that may exist on the subject land and, if detected, a more detailed assessment outlining the location of the contaminated soil, the type of contaminants detected, and the strategies required to be undertaken to decontaminate the affected areas in accordance with the Minister's Direction No. 1 – Potentially Contaminated Land.
- A traffic impact assessment report to the satisfaction of the Roads Corporation (VicRoads), that identifies:
 - Appropriate access and circulation of vehicles on the existing and future road network.
 - The works necessary to accommodate traffic generated by the development and to mitigate any adverse impacts of the development.
 - The trigger points for any additional traffic infrastructure such as upgrades to existing intersections.
 - Considers the broader arterial road network.
- An acoustic report to consider the noise impact and mitigation measures for the Hume Freeway.
- An infrastructure plan approved by the Responsible Authority, which identifies the anticipated staging and timing of the provision of infrastructure. The infrastructure plan should address, as appropriate:
 - The provision, staging and timing of stormwater drainage works.
 - The provision, staging and timing of roadworks, both internal and external in accordance with the approved traffic management plan.
 - The provision, staging and timing of landscaping works for local parks, stormwater drainage reserves and regional landscaping works.
 - The securing of the infrastructure and utility services as may be necessary by way of an agreement pursuant to Section 173 of the Planning and Environment Act 1987 or by other means acceptable to the Responsible Authority.
 - Any other infrastructure related matter reasonably requested by the

Responsible Authority associated with the subdivision of land.

- Identification of any agency or person responsible for provision of particular items of infrastructure.

Before approving the Development Plan, the Responsible Authority must consider the following, and may include conditions where appropriate:

- The environmental, ecological, landscape, archaeological, cultural heritage and historical values and features of the site.
- The provision of at least 100,000 litres of static water storage where reticulated water is not available and at least 20,000 litres where reticulated water is available for fire fighting purposes and onsite use.
- The need for any agreement to be made pursuant to the provisions of Section 173 of the Planning and Environment Act 1987 with respect to matters arising from the proposed use and development.
- Any requirements and/or views of the Strathbogie Shire Council and referral authorities regarding urban design and landscaping, traffic works, stormwater disposal, engineering works, environmental protections and enhancement, sewerage, drainage, fire or flood mitigation works required to properly service the proposed use and development of the land.

Clause 44.01 Erosion Management Overlay

Clause 44.01 applies to a very small portion of land located in the southeast area of the development plan.

The purpose of the overlay is to:

- To protect areas prone to erosion, landslip or other land degradation processes, by minimising land disturbance and inappropriate development.

Clause 44.04 - Land Subject to Inundation Overlay – Schedule 2 – LSIO2

LSIO2 applies to a small portion of land in the northeast corner of the site.

The purpose of the Clause is to:

- To identify land in a flood storage or flood fringe area affected by the 1 in 100 year flood or any other area determined by the floodplain management authority.
- To ensure that development maintains the free passage and temporary storage of floodwaters, minimises flood damage, is compatible with the flood hazard and local



drainage conditions and will not cause any significant rise in flood level or flow velocity.

- To reflect any declaration under Division 4 of Part 10 of the Water Act, 1989 where a declaration has been made.
- To protect water quality in accordance with the provisions of relevant State Environment Protection Policies, particularly in accordance with Clauses 33 and 35 of the State Environmental Protection Policy (Waters of Victoria).
- To ensure that development maintains or improves river and wetland health, waterway protection and flood plain health.

Schedule 2 of Clause 44.04 stipulates that in addition to the Decision Guidelines in Clause 44.04-5, before deciding on an application, the responsible authority must consider the following relevant local floodplain development plan which has been incorporated at Clause 81 of this scheme.

4.4. Particular Provisions

The following provisions will need to be addressed at the planning permit stage and have therefore been considered while preparing this Development Plan.

Clause 52.17 – Native Vegetation

Clause 52.17 seeks to ensure that there is no net loss to biodiversity as a result of the removal, destruction or lopping of native vegetation. This is to be achieved by:

- Avoiding the removal, destruction or lopping of native vegetation.
- Minimising impacts from the removal, destruction or lopping of native vegetation that cannot be avoided.
- Providing an offset to compensate for the biodiversity impact if a permit is granted to remove, destroy or lop native vegetation.

Clause 53.01 – Public Open Space Contribution and Subdivision

Clause 53.01 highlights the requirement to provide public open space in the design of residential subdivisions.

Clause 53.18 – Stormwater Management and Urban Development

Clause 53.18 seeks to ensure that stormwater in urban development, including retention and reuse, is managed to mitigate the impacts of stormwater on the environment, property and public safety, and to provide cooling, local habitat and amenity benefits.

Stormwater management objectives include:

- Minimise damage to properties and inconvenience to the public from stormwater.
- Ensure that the street operates adequately during major storm events and provides for public safety.
- Minimise increases in stormwater and protect the environmental values and physical characteristics of receiving waters from degradation by stormwater.
- Encourage stormwater management that maximises the retention and reuse of stormwater.
- Encourage stormwater management that contributes to cooling, local habitat improvements and provision of attractive and enjoyable spaces.

Clause 56.01 – Residential Subdivision

Clause 56.01 seeks to create liveable and sustainable neighbourhoods and urban places with character whilst achieving residential subdivision outcomes that appropriately respond to the local context. Clause 56.01 outlines detailed standards and objectives that must be considered in any application to subdivide land for residential development.

4.5. Euroa and Avenel Rural Residential Development – Development Plan Report

In 2010, Strathbogie Shire commissioned a Development Plan Report for Euroa and Avenel in order to identify priority areas for targeted growth. The study investigated 10 areas centred around Euroa and Avenel to determine development potential and incorporate appropriate areas into the Strathbogie Planning Scheme.

The study determined that supply of smaller lifestyle lots near urban centres had been exhausted and that new planned rural residential areas need to be identified. The release of more residential land would take pressure of farm zone land being used for residential purposes.

72 Golf Course Road was identified as Investigation Area 4 and selected to be rezoned to the Low Density Residential Zone with a Development Plan Overlay and Design and Development Overlay to manage environmental constraints and ensure delivery of a quality residential development.

In 2015, Strathbogie Planning Scheme Amendment C32 implemented the rezoning of 72 Golf Course Road and applied the Development Plan Overlay Schedule 4, Vegetation Protection Overlay Schedule 1 and Environmental Significance Overlay Schedule 2.



5. Site Features and Considerations

Following a site visit, a site features plan was prepared to highlight key considerations for future development. Consultation with the Euroa Arboretum and the Euroa Golf Club provided additional information to inform the design. Finally, specialist consultants prepared a range of reports to meet the requirements of the Strathbogrie Planning Scheme and inform the design. These works are summarised below.

5.1. Consultation with Neighbouring Properties

Consultation with the Euroa Golf Club and the Euroa Arboretum was undertaken in a series of meetings, emails and phone calls during preparation of this document. Both organisations were generally supportive of the site's development.

Key points from consultation with the Euroa Arboretum included:

- Encouraged sensitive development along the western boundary of the site.
- Don't need additional water for their site, they want to protect the ephemeral wetland areas that they have created that responds to the current stormwater flows they receive.
- Support for a single shared path connection between the properties, central to the site.
- Encouraged the use of native species within the development's streetscapes and private properties.
- Discouraged the use of solid metal fencing along the western boundary and elsewhere within the site.
- Need to ensure vehicles cannot enter the Arboretum from the development site.
- Opportunity to consider management arrangements for native vegetation areas.
- Discourages agricultural uses along the western boundary.

Key points from consultation with the Euroa Golf Club included:

- The site has access to recycled water but has additional water requirements.
- The golf course has a dam and wetland near the culverts under the Hume Freeway.
- Stormwater currently snakes its way through the golf course as part of an ephemeral tributary of the Castle Creek.
- The original design of the golf course intended to have more permanent water features integrated into the course.

- The club is currently run off of a septic system and any opportunities to connect into reticulated sewerage would be welcomed.
- Any synergies between development of the site and the Golf Club House would be supported.
- Subject to detailed considerations, there is potential to redirect additional stormwater from the development site through the golf course. This would be within the southern portion of the golf course before linking into the Urban Floodway Zone.

5.2. Specialist Consultant Advice

The following specialist reports were undertaken to identify the opportunities and constraints presented by the development plan area:

- Site Features and Levels Survey (Webster Survey Group)
- Arboricultural Assessment and Preliminary Report (TreeLogic)
- Cultural Heritage Advice (Ecology and Heritage Partners)
- Biodiversity Assessment (Ecology and Heritage Partners)
- Bushfire Risk Assessment (Ecology and Heritage Partners)
- Preliminary Environmental Site Assessment (Atma Environmental)
- Road Traffic Noise Assessment (ARUP)
- Drainage and Flood Investigation (Afflux)
- Stormwater Management Plan (Afflux)
- Civil Engineering Servicing Report (Terraco)
- Traffic Engineering Assessment (Traffix Group)

Advice from the specialist reports has been provided as appendices to this document with findings incorporated into the development plan. Key advice from the specialists can be summarised as:

Trees and Vegetation

- Trees within the site and along all boundaries are native species. There is poor quality undergrowth due to agricultural uses on the site.

Cultural Heritage



- The study area is not located within an identified area of cultural heritage sensitivity, as defined under the Aboriginal Heritage Regulations 2018. Therefore, the preparation of a mandatory Cultural Heritage Management Plan (CHMP) is not triggered or required under the Regulations.
- No historical heritage sites were identified within the study area. Therefore, there are no implications for this project under the Heritage Act 2017, Planning and Environment Act 1987 or the Environment Protection and Biodiversity Conservation Act 1999.

Contamination

- The site is not contaminated, and an environmental audit is not required.
- Laboratory analysis of 22 soil samples across the site reported concentrations below adopted ecological and human health-based investigation and screening levels for low-density residential development.

Freeway Noise

- Residential development in this area will be required to comply with the requirements of VicRoads Traffic Noise Reduction Policy, February 2005 and VicRoads Requirements of Developers, 2004.
- The noise modelling suggests that to reach the required 63 dBLA10, without any noise mitigation, all residential development would have to be set back 120m from the southern boundary of the site. Alternatively, a noise wall can be constructed along the southern boundary with 20m returns on the east and west boundary. The noise wall must reach a height 3m above the existing ground level. If the ground level is raised, the wall height may be reduced.
- Any bedrooms or living areas above ground level on the south-facing facades of dwellings adjacent the Hume Hwy are to be constructed with approved noise mitigating features which include:
 - External walls with brick veneer construction of approved similar.
 - Internal Walls with thermal/sound absorptive material in a minimum 90mm cavity plasterboard or approved similar.
 - Windows to have compressible seals with either 6.38 to 10.38mm laminated glass or double-glazing system with 3mm glass and 8-12mm air gaps or approved similar

Site Access

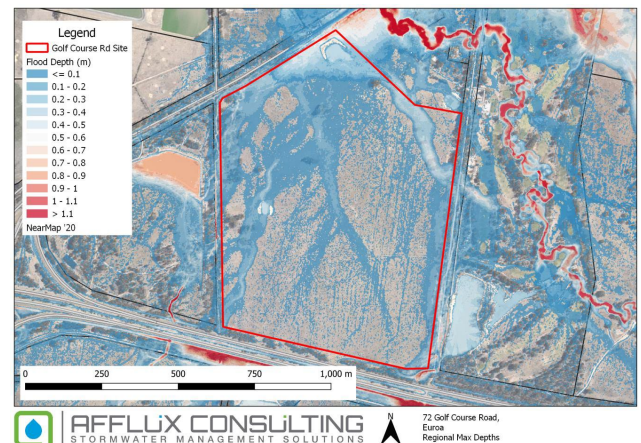
- A new intersection at Euroa Main Road is required for the site. This section of road should be reduced to 60km/hr and the intersection should

provide a turning lane in each direction for turning movements into the development site.

- Limited access with no through connection from Golf Course Road can be provided to community facilities and open space.
- Emergency vehicle access to the site can be provided at the southern portion of Golf Course Road via a shared path and removable bollards.

Stormwater & Flooding

- There are two separate culverts under the Hume Freeway near the Euroa Arboretum. One to the west directs water into the Arboretum, the other is at the southwest corner of the development area and flows into informal channels in the road reserve and across the site.
- There are four combined culverts under the Hume Freeway near the southeast corner of the site that informally direct water towards the Golf Course dam. Some of this stormwater flows within the site and towards the Urban Floodway Zone.
- The following image illustrates the flood depths across the site and on surrounding properties during a 1% AEP storm event.



- The site development will increase stormwater runoff from ~118ML/year to ~148ML/year. (30ML/yr)
- The golf course dam could be modified in its current footprint and deliver up to 55ML per year subject to licencing.
- The dam could be deepened/resized and deliver up to 110 ML/y reliably, subject to licencing arrangements with Goulburn Murray water.

Bushfire Risk Assessment

- A 33m building exclusion setback is required from the eastern, southern and western boundary of the site.
- The 33m building exclusion setback on the western side of the site is extended along the east side of the open drainage channel and local road in response to the native vegetation reserve.



- A 19m building exclusion setback is required from the northern boundary of the site within the open space reserve.
- A 16m building exclusion setback is required from any groups of trees (3 or more) that are to be retained within the site.

Service Infrastructure

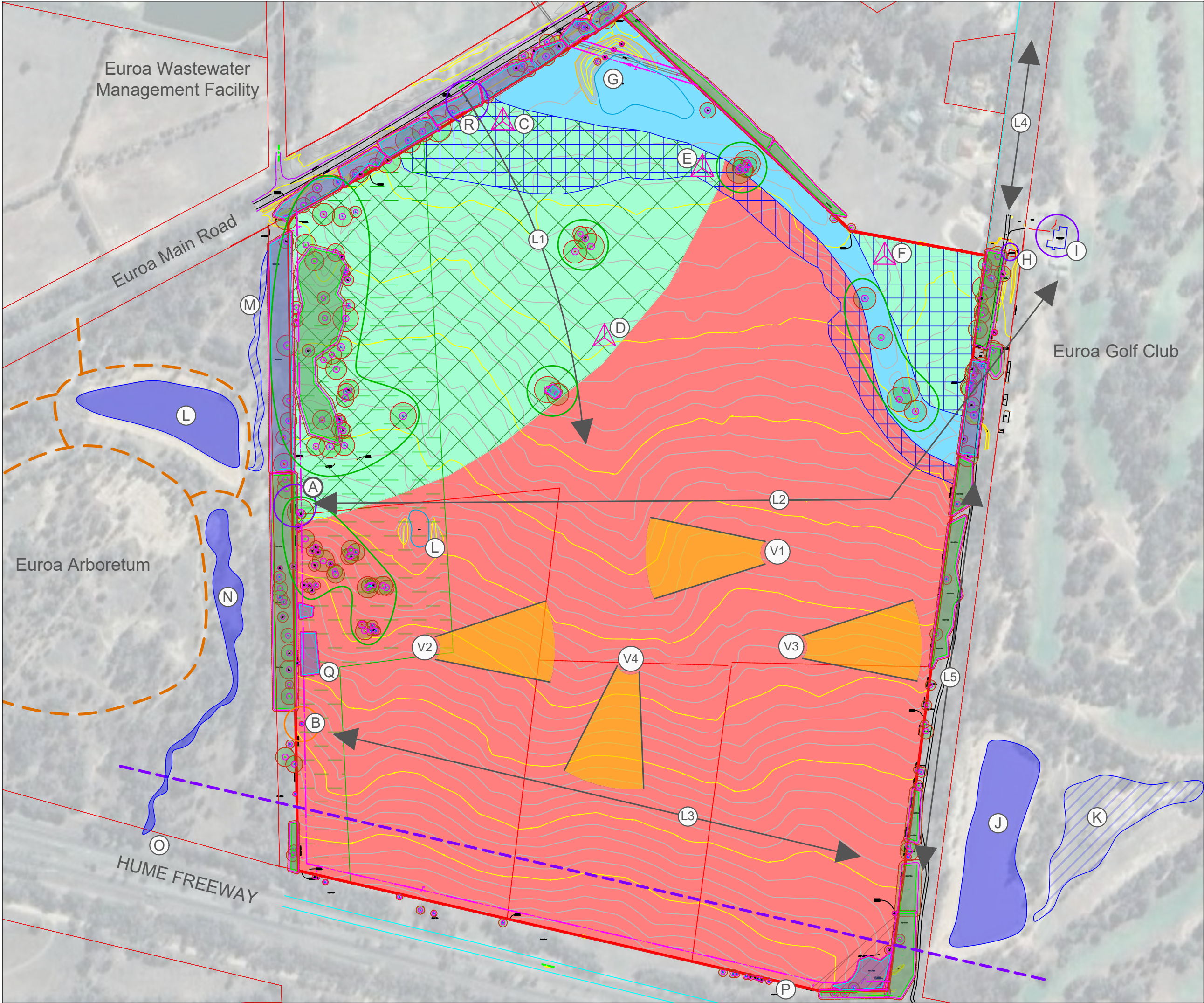
- The closest Goulburn Valley Water watermain to the development site is an AC DN50 at Euroa Main Road. A connection to the existing DN200 main is required at the intersection of Simpsons Lane and Stewart Street
- When the development exceeds 40 lots or the equivalent of 40 standard connections, a second connection to the existing water network will be required for security of supply.
- The 50mm water main is AC and likely to be replaced in the next 5-10 years by Goulburn Valley Water. At the time of replacement Goulburn Valley Water will upgrade this to a larger size.
- Due to the site topography part or all the development cannot be supplied with 20m pressure from the current Euroa water network

and would require construction of a dedicated water booster pump station at developer cost.

- Goulburn Valley Water preferred sewer connection is directly to Euroa Waste Management Facility.
- A sewer pump station will be required within a lower elevation area of the development site.
- There are existing Telstra cables running along Euroa Main and Golf Course Road.
- The lots will obtain NBN service via fixed wireless.
- There is an overhead electricity supply that traverses the northern corner of the site and feeds off the high voltage line from the treatment plant. Some upgrades may be required depending on the ultimate load requirements of the development.
- Euroa Township has reticulated gas approximately 700m from the site.

5.3. Key Site Features

Plan 1 – Site Features, on the following page illustrates existing features within the development plan area and immediate surrounds.



PLAN 1 - SITE FEATURES

- LEGEND
- Zones and Overlays
- Site Boundary
 - Low Density Residential Zone
 - Farm Zone
 - Urban Floodway Zone
 - Environmental Significance Overlay 2
 - Erosion Management Overlay
 - Land Subject to Inundation Overlay
 - Vegetation Protection Overlay 2

- Site Features
- Potential Pump Station Location
 - 63 dB Freeway Noise
 - Trees for Protection and EVC
 - Key Feature
 - Key Views
 - Key Connection
 - Walking Track

- Linkages
- L1. New entry and access road between trees
 - L2. Focus development east-west to detract from Hume Freeway and create link between golf club and arboretum
 - L3. Southern linkage between golf club and arboretum with focus on existing tree 105
 - L4. Connection from Golf Club area to Euroa Town Centre
 - L5. New trail in Golf Course Road with access to golf club

- Views
- V1. To Arboretum and hills to the West
 - V2. To Balmattum Hill behind golf course
 - V3. To native trees along Golf Course Road
 - V4. To Hume Freeway

- Key Features
- A. Old Cattle Ramp in good condition
 - B. Tree 105, good location for link into Arboretum
 - C. Sewer Pump Station Option 1
 - D. Sewer Pump Station Option 2
 - E. Sewer Pump Station Option 3
 - F. Sewer Pump Station Option 4
 - G. Retarding Basin
 - H. Recycled Water Tank Filling Station
 - I. Golf Club
 - J. Golf Club retarding basin
 - K. retarding basin spillover area
 - L. Arboretum retarding basin
 - M. Arboretum spillover area
 - N. Arboretum ephemeral ponds
 - O. Small culvert under Hume Freeway
 - P. Large Culvert under Hume Freeway
 - Q. Group 15 and 16, small trees
 - R. New intersection location

Notes:

- This plan is based on a features and levels survey prepared by Webster Group in 2020.
- Tree Information is from the TreeLogic Arboricultural Assessment 2020.



6. Urban Structure

The urban structure of the development site responds to the area's opportunities and constraints to provide an efficient and functional development layout. In particular, the urban structure considers adjacent properties, stormwater management and native vegetation within and surrounding the development plan area. Other elements of the urban structure include:

- A new intersection at Euroa Main Road to provide access to the site.
- Non-residential uses within the Farm Zone land and buffer zone from the Wastewater Treatment Facility. This includes large open space areas with a range of features and points of interest throughout the site.
- Approximately 1.1ha for creation of a wetland and retarding basin at the northern portion of the site.
- A farm site with associated dwelling lot outside the Wastewater Treatment Facility buffer.
- A Lifestyle Village on a single property with dwellings outside the Wastewater Treatment Facility buffer and access to land for non-residential uses within the buffer. Facilities associated with the development will be located within the Farm Zone land near Golf Course Road to create a recreational hub with the Euroa Golf Club.
- Four distinct residential character precincts based around the Arboretum interface, golf course interface, large lifestyle lots along the Hume Freeway and standard low density lots.
- A stormwater drainage channel for the western side of the site. The channel extends from a single culvert under the Hume Freeway, along the western boundary, along the proposed local road network, through the southern portion of native vegetation reserve and along eastern side of the northern native vegetation reserve. It will require a culvert under the entry road and then end at the proposed wetland in the north of the site.
- A stormwater drainage solution for the Eastern portion of the site which diverts stormwater from the four large culverts under the Hume Freeway, through the Euroa Golf Club before re-entering the site and flowing to the new wetland in the north of the site.
- A 3m acoustic fence along the southern boundary of the site.
- A shared path network that provides connections throughout the development site and highlights the connectivity between the Euroa Golf Club and the Euroa Arboretum.
- The shared path network in the southeast corner also acts as an emergency vehicle access point to Golf Course Road reserve.

More details in relation to the urban structure are provided in the following sections.

PLAN 2 - URBAN STRUCTURE



LEGEND

- Site Boundary
- Farm Lot
- Lifestyle Village
- Residential - Golf Lots
- Residential - Low Density Lots
- Residential - Lifestyle Lots
- Residential - Arboretum Lots
- Open Space Precinct
- Urban Floodway
- Building Exclusion Setback for Bushfire Risk
- Acoustic Treatment
- New Sealed Shared Path 3m
- New Gravel Shared Path
- Raised Pedestrian Crossing
- Wastewater Treatment Facility Buffer
- Tree SRZ and TPZ (Arboricultural Assessment)
- Native Vegetation Impact Area

- NOTES
1. A new intersection at Euroa Main Road is required for access to the site.
 2. The illustrated road network and subdivision design are indicative only. Some variation to the layout may be approved by the Responsible Authority as part of a planning permit application as long as it meets the overall intent of the Development Plan.
 3. Land subject to inundation is mostly outside of the private landholdings. Works within the Lifestyle Village may reduce the inundation area.
 4. Trees and groups of trees shown on this plan are based on the Arboricultural Assessment prepared by Treelogic.
 5. The native vegetation impact areas are based on the Native Vegetation Assessment prepared by Ecology and Heritage Partners. The impact areas may be refined following detailed design.
 6. The building exclusion setback is 19m from the northern property boundary east of the entry road, 33m from the other property boundaries, 33m from the native vegetation reserves in teh west and 16m from any retained vegetation within the site.



7. Stormwater Management

The development site is currently subject to flooding and the two culvert locations under the Hume Freeway direct stormwater across the site. Stormwater management requires addressing the flows from the two culvert locations as well as additional flows generated from development of the site. The information below is based on the Stormwater Management Plan prepared by Afflux Consulting.

7.1. External Stormwater from the Southwest Corner

The single culvert under the Hume Freeway is aligned with the unmade road reserve. Stormwater is currently distributed informally across portions of the Arboretum, the road reserve and the development site. To prevent flooding across the residential area, the following is required:

- A 15m wide drainage reserve between the culvert at the Hume Freeway Reserve and the internal road network to allow for an approximately 11m drainage channel.
- An 11m wide drainage channel incorporated into the internal road reserve. Refer to Section E in the Traffic and Transport Section.
- An 11m wide drainage channel through the native vegetation reserve which attempts to avoid native vegetation impacts. Some minor impact will occur.
- An approximately 15m wide drainage channel extending through the Eastern Open Space Precinct, between the Native Vegetation Reserve and the Farm Lot. It will bend around the farm lot and run along the Euroa Main Road boundary to create a landscaped buffer the farm lot and the vegetation in the road reserve. The drainage channel should be offset approximately 5m from the farm lot to allow for an informal trail.
- A culvert under the entry road will be required to allow conveyance of the drainage channel towards castle creek and the to the wetland/retarding basin at the Northern Open Space Precinct.
- The wetland/retarding basin will require approximately 1.1ha and include an 1800m² sediment basin, 3500m² wetland, and 5500m² for batters, dry out area and bypass etc.

This infrastructure will be required for Stage 1 of the development.

7.2. External Stormwater Strategy from the Southeast Corner

The four culverts under the Hume Freeway at the southeast corner of the site currently lead to an informal channel that direct stormwater towards the golf course dam. In larger stormwater events, water spreads across the eastern side of the development site, making its way to the Urban Floodway Zone. It is proposed to redirect this stormwater through the golf course before making its way to the Urban Floodway Zone. The following is required:

- An approximately 16m wide drainage channel from the culverts at the Hume Freeway to the existing dam at the Euroa Golf Club.
- Minor works to existing dam to suit new connection and outfall arrangement.
- Works to the existing wetland to cater for additional flows as required.
- An approximately 15-20m wide drainage channel between the existing wetland and the Castle Creek Tributary.
- Works within the Castle Creek Tributary as agreed with the relevant authority to facilitate increased incoming flows.
- Construction of the major overland flow path across the fairway for Hole 1 and Hole 9 to the proposed Urban Floodway Zone land on the development site. This may require the regrading of the fairway and culverts in consultation with the Euroa Golf Club to facilitate golf cart crossings.
- Stormwater will flow through the lifestyle village site and continue to the new wetland/retarding basin in the Northern Open Space Precinct. Any crossing of the Urban Floodway Zone constructed by the lifestyle village will require appropriate culverts.

This infrastructure will be required for Stage 2 of the development.

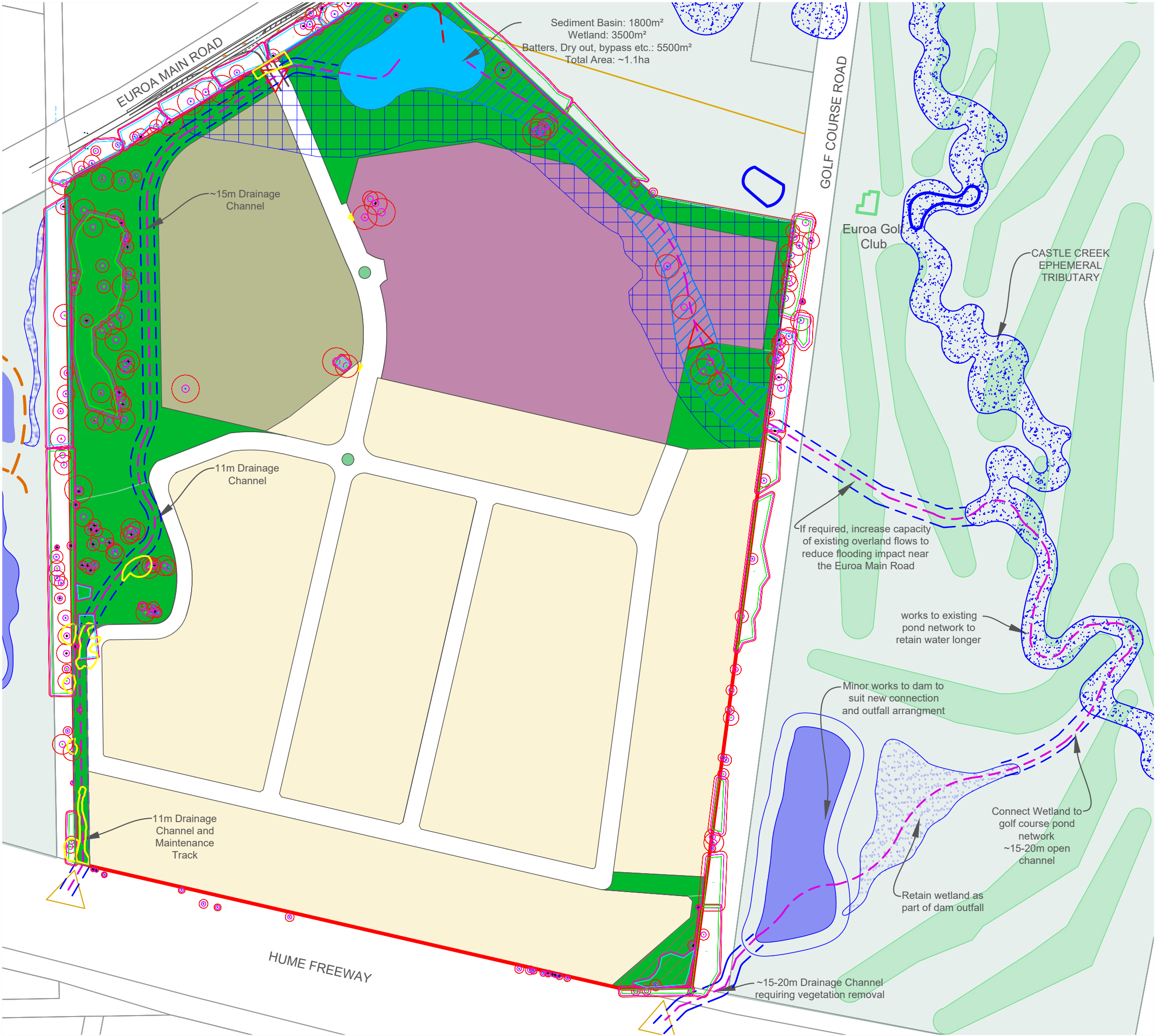


7.3. Internal Stormwater Strategy for the Development Site

The development plan road network has a focus on north-south orientated local streets that will work with the natural topography to address internal stormwater flows. A minor piped drainage network can be delivered within the local road reserves towards the entry road and to the wetland. Overland flows can be accommodated within the carriageways, across the farm site and within the Urban Floodway to reach the wetland.

Culverts will be required under the entry road and any road in the lifestyle village site that crosses the urban floodway.

PLAN 3 - DRAINAGE



LEGEND

- Site Boundary
- Residential Lots
- Farm Property
- Lifestyle Village Property
- Urban Floodway
- Castle Creek Tributary
- Open Space Precinct
- Wetland
- Land Subject to Inundation
- Existing Culvert
- Proposed Culvert
- Drainage Channel
- Proposed Stormwater Flow
- Tree TPZ and SRZ (Arboricultural Assessment)
- Native Vegetation Impact Area

- NOTES
1. Land Subject to Inundation to be reduced based on drainage works.
 2. Stormwater from both sides of the site will be directed towards the new wetland in the northern portion of the site for treatment and retardation to pre development flows.
 3. Western Side - stormwater flows from the single culvert under the Hume Freeway will be directed through an open channel along the western boundary, through the southern native vegetation reserve and along the Farm Property towards Euroa Main Road and the new wetland.
 4. Eastern Side - stormwater flows from the 4 culverts under the Hume Freeway will be directed toward the Euroa Golf Club dam with the overflow connecting to the Castle Creek ephemeral tributary before flowing overland to the Urban Floodway Zone within the development site.



8. Traffic and Transport

The internal road network will be accessed from a new intersection at Euroa Main Road. An entry road will dissect the farm zone land and weave between two groups of large native trees. The entry road will provide access to the lifestyle village lot, the farm lot and the residential subdivision. This design with a new intersection will minimise traffic impact on neighbouring properties.

A shared path network will emphasise walking and cycling opportunities while linking the development to the Euroa Arboretum, the Euroa Golf Club and the Euroa town centre. Further details are outlined below.

8.1. Site Access and Entry Road

Traffix Group have prepared a functional design for the new intersection at Euroa Main Road which has been included in the Appendices. The location of the intersection has considered the preference for it to be as close to the Euroa Town Centre as possible while still avoiding the Urban Floodway Zone and Land Subject to Inundation Overlay area.

The new intersection will provide access to an entry road that will extend approximately 450m into the site and provide access to the various components of the site.

Key design considerations for these elements are:

- A reduction of the speed limit on Euroa Main Road to 60km/hr along the frontage of the site is appropriate but must be supported by Department of Transport.
- Alignment of the long entry road has been designed to pass several groups of large trees and native vegetation to create points of interest along the drive.
- The entry road will be constructed at a height that ensures a 1 % AEP flood levels are not more than 300mm over the road and complies with flood hazard requirements.
- Two roundabouts along the entry road manage traffic speed at key locations. The first roundabout is at the entry to the Lifestyle Village and the second is at the entry to the residential subdivision.
- Both sides of the Euroa Main Road have significant native trees and vegetation along the frontage of this the site. There is no way to avoid the removal of native vegetation at this location.
- The entry road has three cross sections ranging from 20.3m to 25.3m that respond to the varying land uses on either side of the road.
- The use of native species for street trees is encouraged.

8.2. Internal Road Network

The internal road network has been developed with consideration of the following:

- A general grid network for logical way finding and efficient lot layout. The largest loop will be the primary circulation road through the site. The two central roads will take on more of local character.
- Varied cross sections that respond to the four residential character precincts and the road hierarchy.
- Integration of an open drainage channel into the curvilinear road through the 'Arboretum Lots' to reflect the more organic character of this area. Lots to the west of this road will require crossovers with culverts within the open drainage channel.
- The use of a shared driveway for access to lots in the northeast corner of the residential subdivision.
- The central north-south roads must include two-lane angled slow points at the location indicatively shown in Figure 4.
- The ends of the central north-south roads must include modified T-intersections at the three locations shown in Figure 4.
- The use of native species for street trees is encouraged.
- A parking area near the lifestyle village community facilities can be accessed from Golf Course Road as long as there is no through connection to the lifestyle village or residential subdivision.

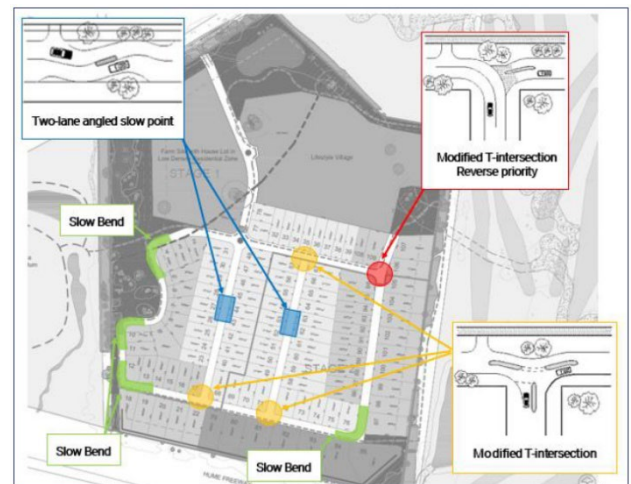
Figure 5 illustrates where cross sections A-I should be applied.

8.3. Shared Path Network

The Urban Structure Plan illustrates the intended shared path network within and around the development. It is made up of the following components:

- Utilisation of the northern part of Golf Course Road to provide a connection from the Euroa Town Centre to the development. This will be approximately down to the Euroa Golf Club parking area.
- A 3m dedicated gravel shared path from the Euroa Golf Club to the southern end of Gold Course Road.
- A 4m sealed shared path within the green link at the southeast corner of the site. This will also be an emergency access point between Golf Course Road and the southern portion of the development. The 4m shared path will also act as a carriageway for emergency vehicles and should be blocked off with removable bollards to restrict this section for emergency vehicles only.
- A 3m sealed shared path within the southern portion of the development that turns north through the Arboretum lots. Refer to Section F and Section E.
- A 3m sealed shared path that extends from the western boundary near the Arboretum, past the cattle ramp, through the open space precinct and then through the local road network back to Golf Course Road via the shared driveway and eastern open space precinct. Refer to Section D and Section I.
- A 1.5m gravel path that extend from the western boundary of the development, across the unmade road reserve and into the Euroa Arboretum. The path will connect with the existing path network within the Arboretum and have vehicle exclusion bollards at the development boundary.
- A 3m sealed shared path that extends along the eastern side of the entry road to a location near the wetland.
- A 3m gravel shared path within the eastern open space precinct that provides a link between the entry road and the Golf Club, past the wetland, through the urban floodway and back to Golf Course Road.

Figure 4 - Traffic Management Locations



8.4. Cross Sections

The Figure below is extracted from the Traffix Group Report. The letters correspond with the cross sections provided on the following page. The cross sections provide guidance on the preferred road cross sections which incorporate the shared path network, drainage channels and opportunities for planting of native vegetation.

Figure 5 - Road Cross Section References



Figure 6 - Section A - Entry Road North

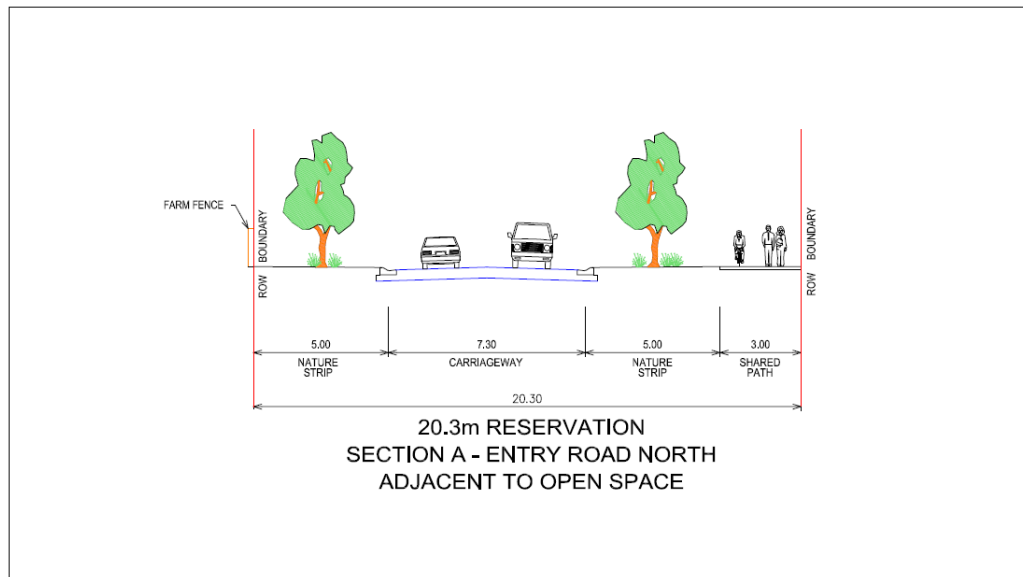


Figure 7 - Section B - Entry Road Central

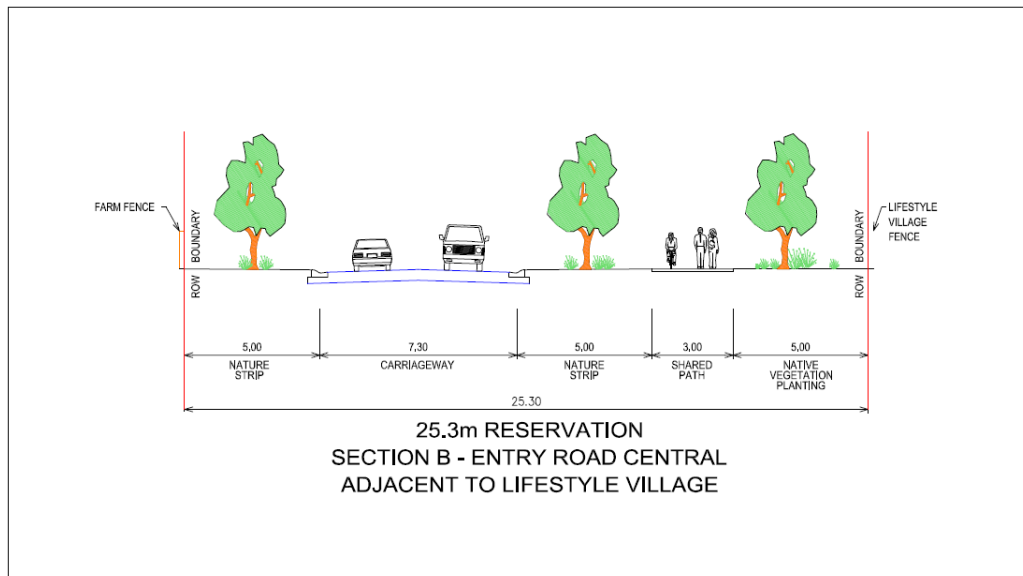


Figure 8 - Section C - Entry Road

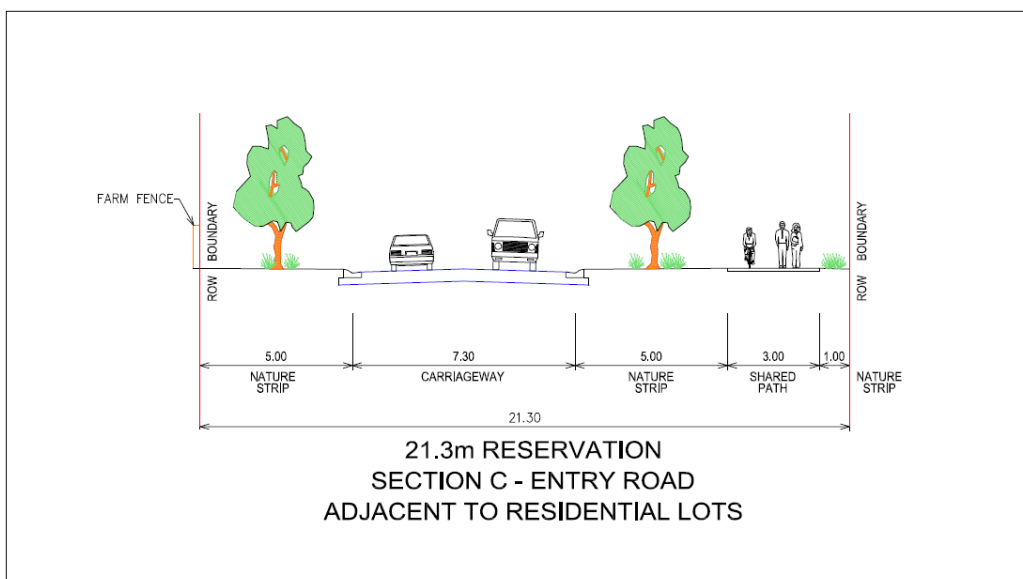




Figure 9 - Section D - Local Road North

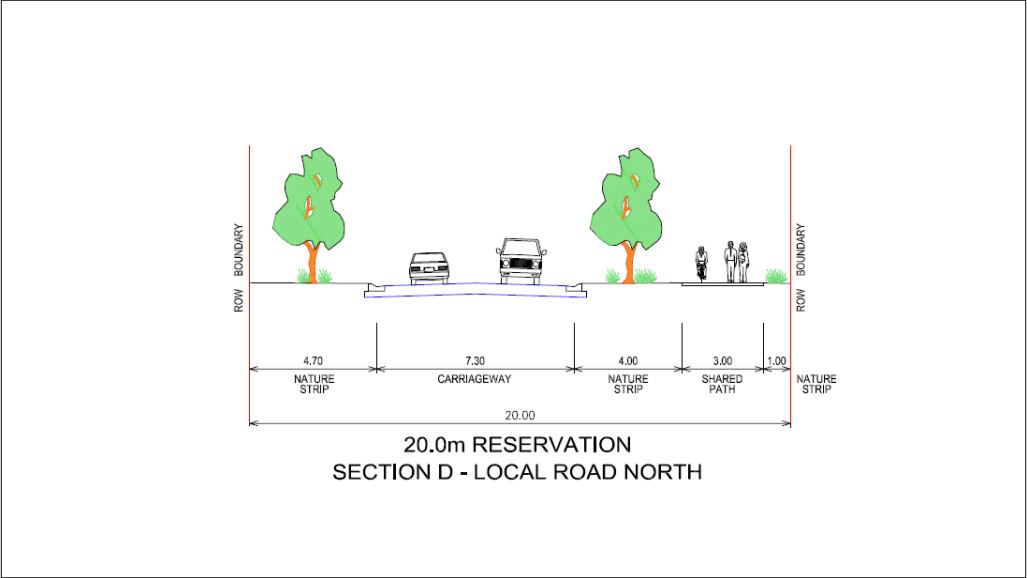


Figure 10 - Section E - Local Road with Open Channel

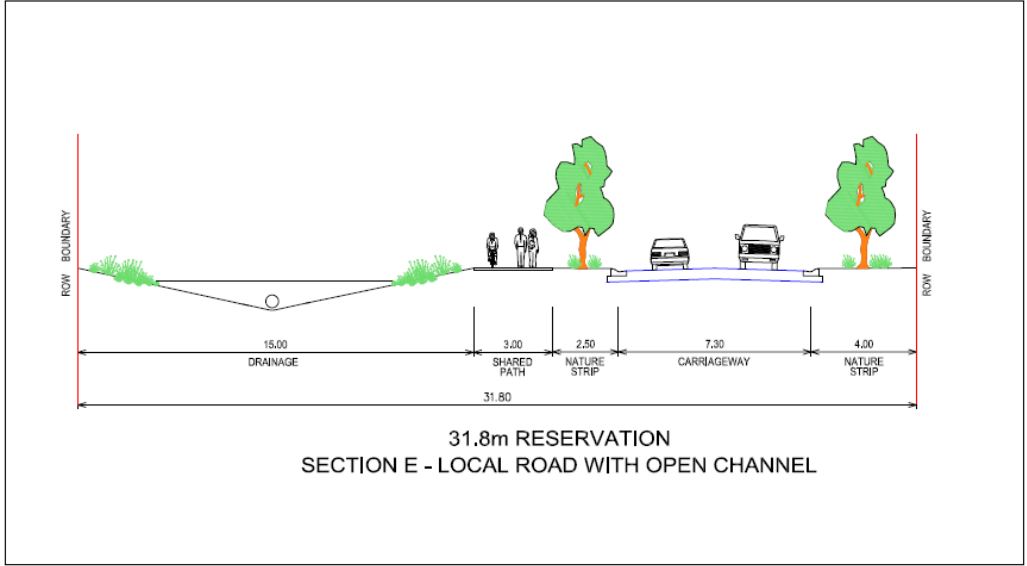


Figure 11 - Section F - Local Road South

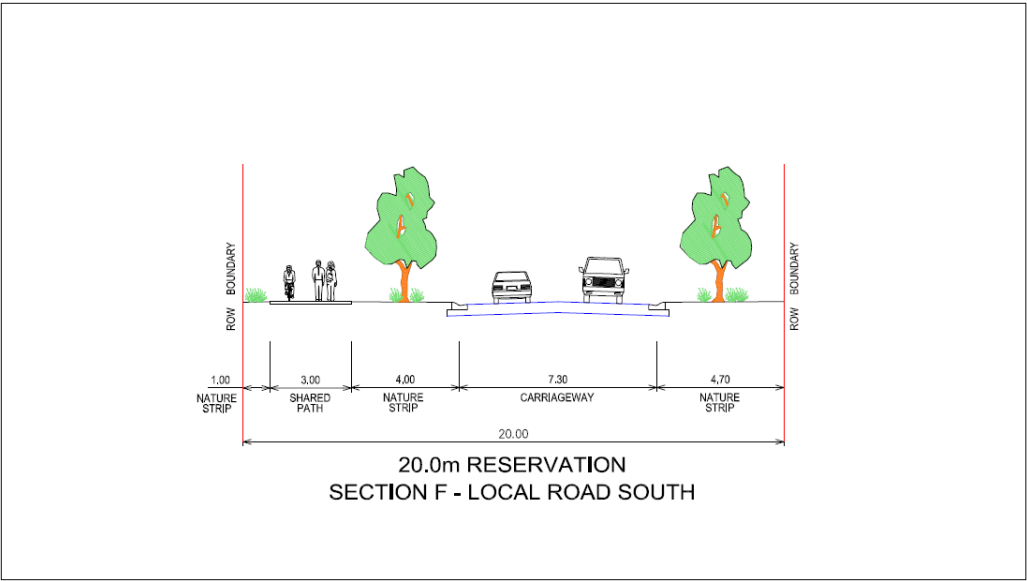


Figure 12 - Section G - Local Road Golf Precinct

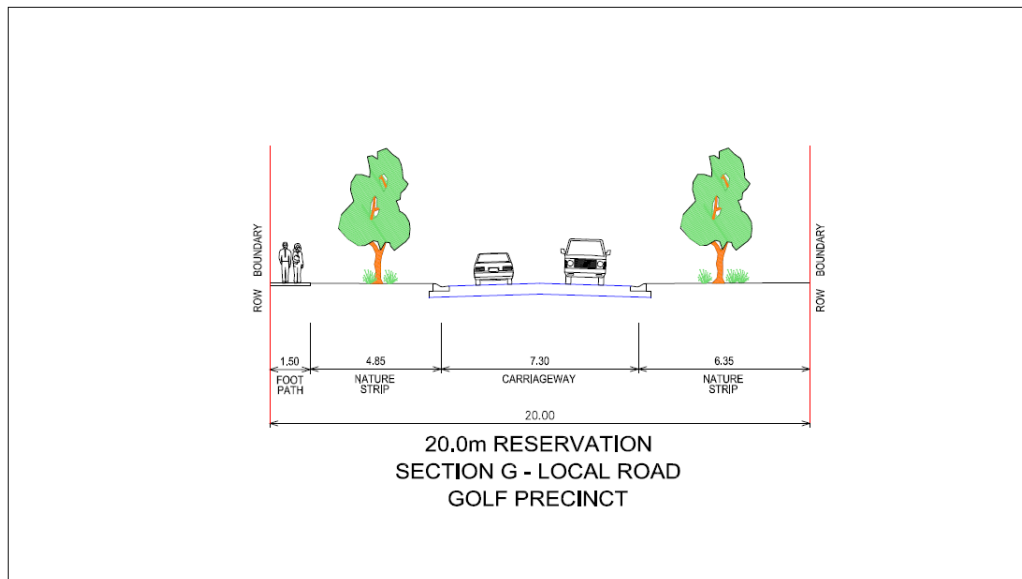


Figure 13 – Section H - Local Road Standard Lot Precinct

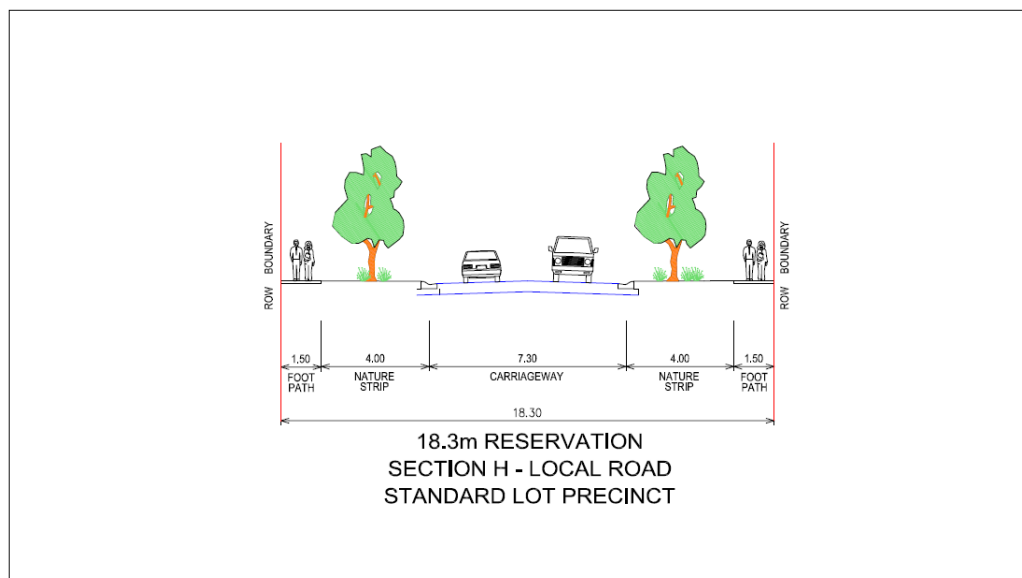


Figure 14 - Section I - Shared Driveway with Drainage Channel

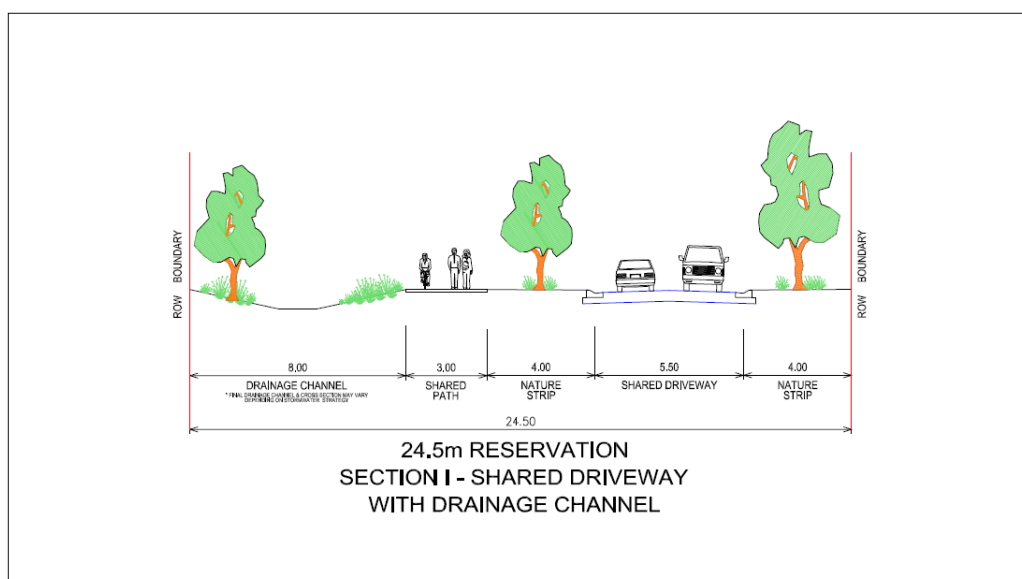


Figure 15 Section J – Shared Path

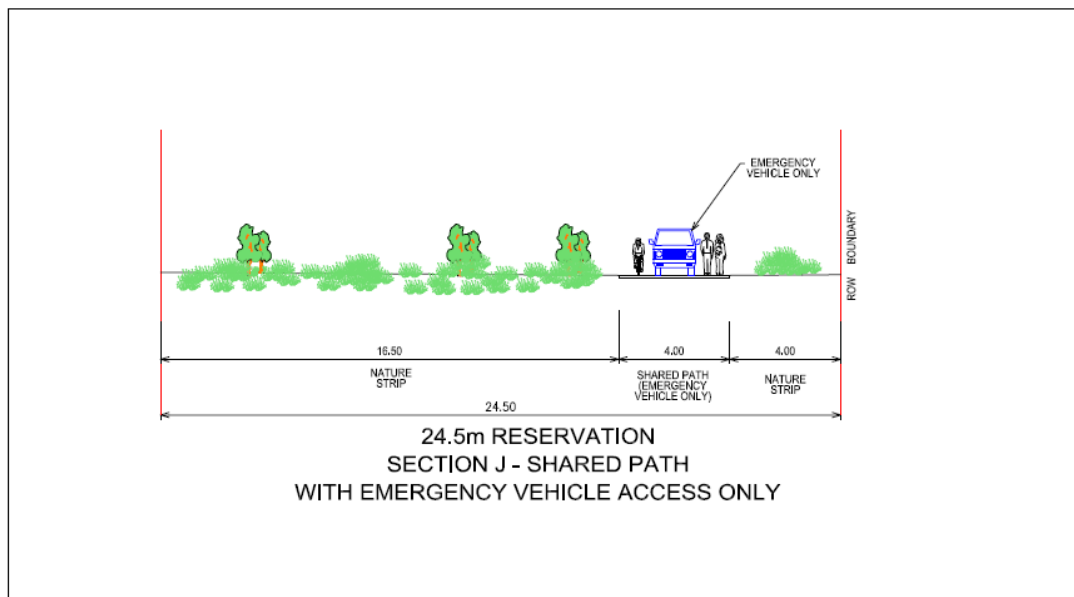
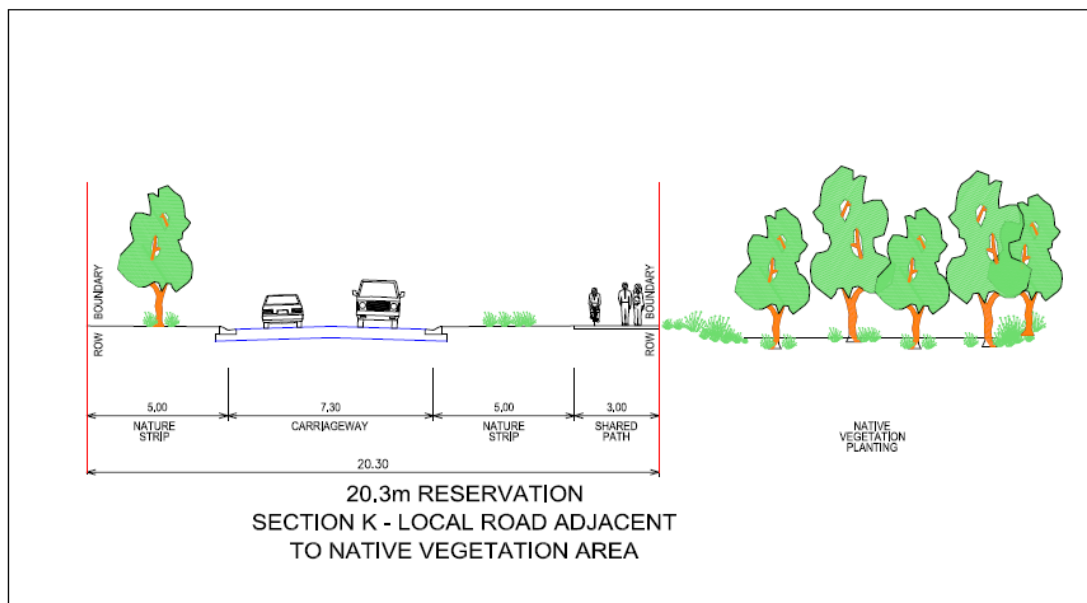


Figure 16 Section K – Local Road Adjacent to Native Vegetation Area



All cross sections may be refined as part of any permit application or detailed design process.



9. Native Vegetation

Ecology and Heritage Partners has conducted a biodiversity assessment for 72 Golf Course Road. The assessment includes land within the development site and land external to the site based on anticipated locations for service infrastructure. These areas are discussed separately below. Attempts have been made to retain native vegetation wherever possible. However, some areas cannot avoid being impacted due to infrastructure requirements. In some cases, the native vegetation can be retained, but must be considered lost, and then offset due to the policy requirements.

Native vegetation within the development site has been incorporated into the design by:

- Creating a large open space precinct along the western boundary to incorporate the two largest areas of native vegetation and large trees. There is the northern area west of the farm site and the southern area west of the residential subdivision. Public open space between and adjacent to these areas allows for a shared path connection to the Arboretum and an open drainage channel.
- Including a landscape buffer along the northern boundary, within the open space precinct.
- Aligning the site entry road to weave between patches of Grassy Woodland with large trees.
- Designing the internal roads to avoid native vegetation within the site.
- Incorporating two groups of native trees into the farm lot.
- Incorporating the scattered trees and patches of vegetation into the lifestyle village where they can be incorporated into the design.
- Retaining scattered trees and patches of native vegetation within Eastern Open Space precinct along the urban floodway zone land.
- Considering the least impact area for the new intersection with Euroa Main Road.

9.1. Native Vegetation within the Development Site

The proposed development has been designed to retain most of the native vegetation within 72 Golf Course Road. Removal of some native vegetation within the site cannot be avoided due to construction requirements or policies that require it to be considered lost.

Native vegetation to be retained includes:

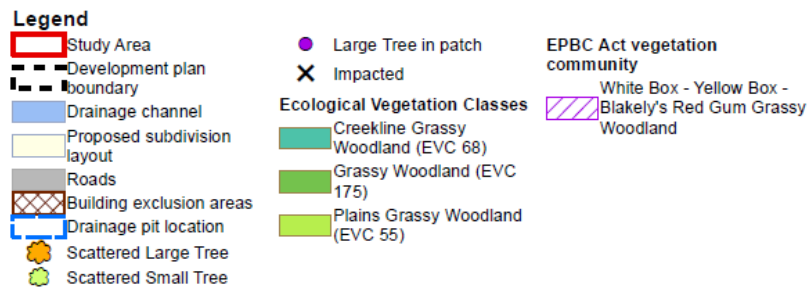
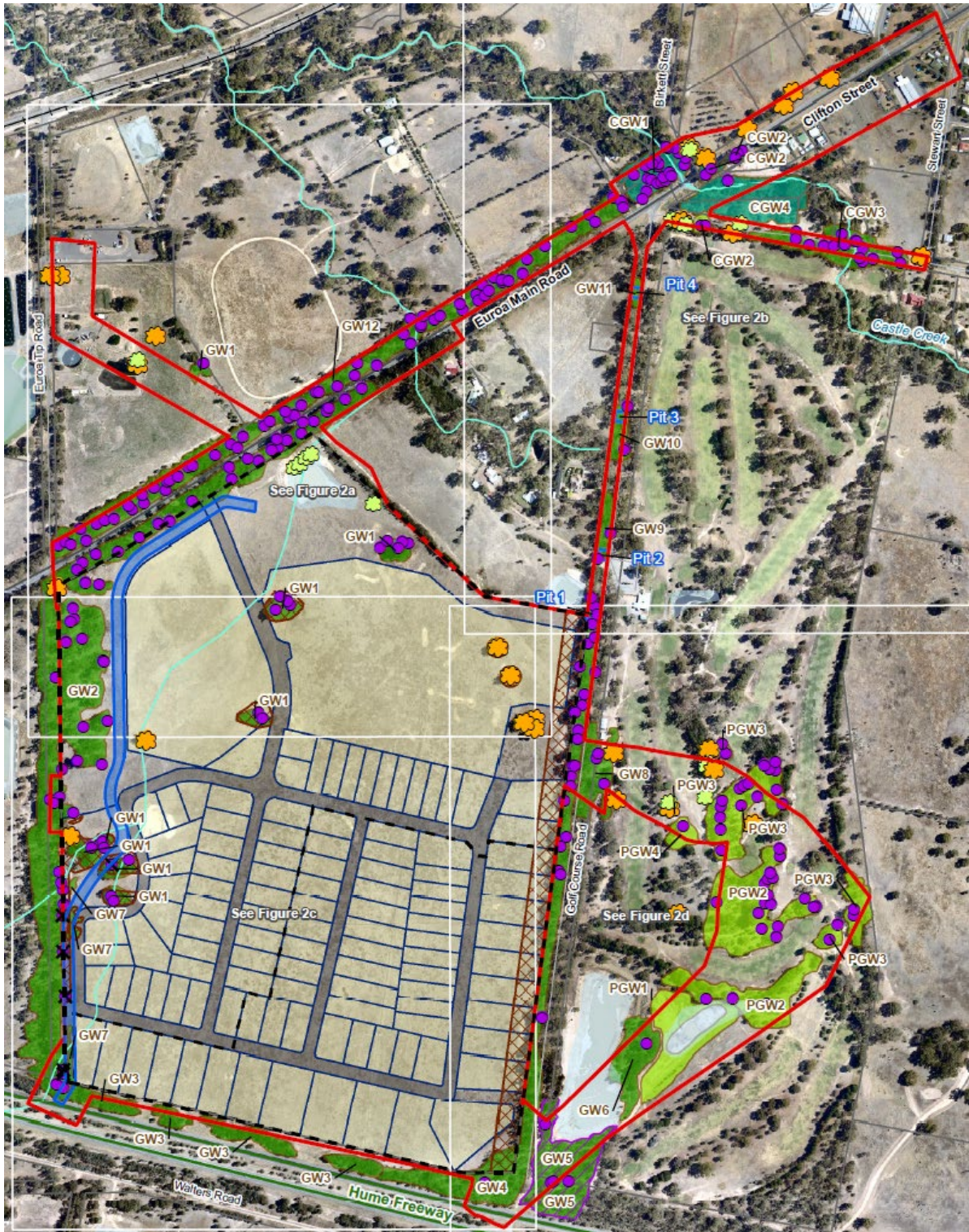
- A group of patches of Grassy Woodland with large trees (GW1) to the west of the residential subdivision. The open drainage channel weaves through these patches.
- A large patch of Grassy Woodland with large trees (GW2) along the western boundary of the site. This patch is in the northern part of the site and is within the Farm Zone.
- The Grassy Woodland with large trees (GW2) extends along the Euroa Main Road. Most of this is within the road reserve, but some of it extends into the development site. Most of this is to be retained within an open space precinct along the frontage.
- Two small patches of Grassy Woodland with large trees (GW1) in the centre of the site, within the farm zone.
- Some scattered large trees, Grassy Woodland with large trees (GW1) and scattered small trees within the Urban Floodway Zone which extends from Golf Course Road to the northern most portion of the site.
- Grassy Woodland (GW4) in the southeast corner of the site. This will be retained in an open space reserve next to Golf Course Road. The acoustic fence will be located north of this area to avoid any impact.

Native vegetation to be considered impacted and offsets to be secured include:

- A section of the Grassy Woodland with large trees (GW2) that extends along the Euroa Main Road frontage will need to be removed to allow for construction of the site entry road.
- Several small patches of Grassy Woodland (GW1) will be impacted by the open drainage channel in the southern native vegetation reserve near the residential lots.
- Two patches of Grassy Woodland (GW7) in the southwest corner must be removed for the drainage infrastructure extending from the Hume Freeway.



Figure 15 - Native Vegetation within the Development Site



Source: Ecology and Heritage Partners, 2022



9.2. Native Vegetation External to the Development Site

The study area has been expanded to include areas that may be required to provide infrastructure to service the site. This includes a new intersection at Euroa Main Road, reticulated water, reticulated sewer and stormwater drainage infrastructure.

Areas that may be impacted include:

- Land in the Euroa Main Road reserve to accommodate a new intersection and access into the site.
- Land along Euroa Main Road to Clifton Street for upgrade of the existing water main.
- Simpson's Lane and Golf Course Road reserves for an extension of the water main.
- Land in the Hume Freeway reserve for stormwater drainage in the southwest corner of the site.
- Land in the Hume Freeway and Golf Course Road reserves for stormwater drainage between the culverts and the golf course dam.
- Land within Golf Course Road for stormwater drainage between the culverts and the golf course dam.
- Land within the golf course to facilitate stormwater flows back towards the Urban Floodway Zone within the site.
- Land within Golf Course Road to allow a single crossover to parking near the lifestyle village.
- Land within Golf Course Road to allow rear gates from the back of properties

Targeted surveys of these areas were completed which identified the following:

- EPBC Act listed Euroa Guinea-flower primarily within the Hume Freeway Reserve at the southeast and southwest corners of the site.
- FFG Act listed Late-flower Flax-lily within the road reserves surrounding the site.
- FFG Act protected Golden Wattle, Gold-dust Wattle, Slender Sun Orchid, Varnish Wattle and Wirilda within the road reserves surrounding the site and within the golf course.

The Development Plan Overlay Schedule 4 does not require the impact on these external areas to be assessed at this time. Detailed engineering design and approvals will be required before extent of impact on native vegetation can be clearly understood. This will happen after a subdivision permit has been issued and functional layout plans have been approved. The design of infrastructure external to the site should:

- Attempt to locate or align infrastructure to avoid impact on native vegetation wherever possible.
- Use techniques such as boring of pipes to limit impact on native vegetation in road reserves.

9.3. Removal of Native Vegetation

The Development Plan and Biodiversity Assessment has identified likely areas within the site where removal of native vegetation cannot be avoided and securing offsets will be required. At this stage, this is indicative until a permit is issued and detailed plans can be prepared.

Detailed engineering plans will determine the extent of any native vegetation that needs to be removed or will be impacted upon. Ecology and Heritage Partners have advised that some of the proposed works to facilitate installation or upgrade of essential infrastructure are likely to fall into the category of 'Construction of utility installations' as outlined in Clause 52.17-7 of the Strathbogie Planning Scheme. This would make the removal of native vegetation exempt from requiring a permit. Refer to Section 4.3.2 *Utility Installations Exemption* of the *Biodiversity Assessment*. Where this is the case, no permit will be required to remove the vegetation. However, the appropriate procedure must be followed, and offsets secured for the removal of any vegetation.

Where native vegetation must be removed, and Clause 52.17 does not provide an exemption, a permit will be required to remove the vegetation and corresponding offsets are to be paid.



9.4. Native Vegetation Management Plan

The most significant components of native vegetation within the site are the large areas of Grassy Woodland along the western boundary with many large trees. This native vegetation will be retained within the proposed Western Open Space Precinct outlined in Section 10. They will form the northern reserve to the west of the farm site and the southern reserve near the residential lots. Ecology and Heritage Partners have prepared a Native Vegetation Management Plan for the site which generally includes:

- The native vegetation to be retained and managed for its ecological values (i.e. the 'management area');
- Management actions required prior to handover of the area to Council;
- On-going management of the site post-handover; and,
- Optional management actions that would help protect and enhance the extent and quality of the management area, and its fauna habitat values.

More details can be found in the Ecology and Heritage Partners' *Native Vegetation Management Plan for 72 Golf Course Road*.

10. Open Space Precincts

The Open Space Network within the development site plays a key role in complementing the character of the Euroa Golf Club and the Arboretum. Open space is used to create multiple connections between these uses to integrate the three properties into a high amenity location. The open space network consists of the following components.

10.1. Northern Open Space Precinct

Land to the north of the lifestyle village will be an open space precinct that extends from the entry road to Golf Course Road. It performs multiple functions relating to stormwater drainage, service infrastructure, native vegetation protection and connectivity. Features of this area include:

- Providing approximately 1.1ha of land for a wetland and retarding basin.
- Urban Floodway Zone that extends along the northern boundary to the lifestyle village.
- Providing a reserve for several groups of trees to be retained within the urban floodway.
- Facilitates the northern loop of the shared path network that extends from the Golf Club to the entry road.
- Protects native vegetation along Euroa Main Road.
- Incorporates a reserve for the sewer pump station along Euroa Main Road which should be screened by native vegetation planting.
- Native vegetation planting within the precinct should extend along the north side of the lifestyle village, around the sewer pump station reserve and extend along the eastern side of the entry road reserve. Refer to cross section B which includes the 5m of native vegetation planting.

Figure 16 - Northern Open Space Precinct



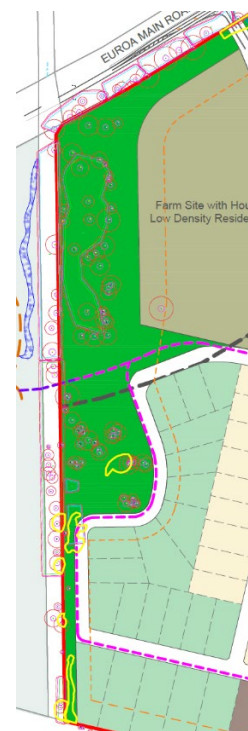
10.2. Western Open Space Precinct

The Western Open Space Precinct provides a transitional interface between the development site and the Arboretum. The combined area will be over 6 hectares and include these key elements:

- Retention of all large trees and most native vegetation in accordance with the Vegetation Management Plan.

- An open drainage channel (approximately 11-15m wide) extending from the Hume Freeway, through the native vegetation and along the west side of the farm site.
- Approximately 5m of open space between the drainage channel and the farm site to allow for a maintenance vehicle and informal walking track.
- Landscape buffer along Euroa Main Road to enhance the native vegetation within the road reserve.
- Retention of the cattle loading ramp near the western boundary and residential area. The ramp should be included as a feature along the shared path network and included in a landscape plan for the area.
- The shared path network will require:
 - a crossing over the drainage channel.
 - an extension into the Arboretum as a 1.5m gravel path.
 - bollards at the property boundary to prevent vehicle access to the Arboretum
- Vehicle exclusion bollards are required where the local road network provides an interface with the open space precinct.

Figure 17 - Western Open Space Precinct



10.3. Golf Course Road Green Links

Two smaller open space areas provide landscaped 'green links' between the residential subdivision and the shared path in Golf Course Road. These links facilitate pedestrian and cycle connections, service infrastructure, native vegetation, and stormwater drainage. There is a northern green link near the lifestyle village and a southern green link is near the golf course dam.

Northern Green Link

- Extends from Golf Course Road to the shared driveway in the northeast corner of the residential subdivision.
- Facilitates a shared path from Golf Course Road into the local road network which creates a key link between the Golf Club and the Arboretum.
- Provides a service infrastructure corridor parallel to Golf Course Road to cater for a water main connection and other services if required.
- A single crossover from Golf Course Road to the Lifestyle Village Community Centre will be allowed to provide parking for guests to the Community Centre. This will not connect through to the private road network within the Lifestyle Village.

Figure 18 - Northern Green Link



Southern Green Link

- Provides a shared path between the southern portion of the residential development and the path in Golf Course Road.
- Provides opportunity for native vegetation planting extending from Golf Course Road into the development.
- Protects native vegetation in the southeast corner of the site.
- Ensures land in the Erosion Management Overlay is protected from inappropriate development.
- Allows the acoustic wall to be constructed without removing native vegetation.

Figure 19 - Southern Green Link



10.4. Open Space Land Areas

The Table in Figure 22 provides indicative land areas for the open space precincts as a percentage of the overall site. These land areas will be refined during functional designs and engineering. It is anticipated that unencumbered open space will be 6-7% of the total site area. As such, no additional open space contribution is required.

Figure 20 - Open Space Table

	Open Space (m ²)	Drainage (m ²)	Native Vegetation (m ²)	Unencumbered Open Space (m ²)	Unencumbered Open Space (% of Site)
Western Precinct	60,799	12,463	27,770	20,566	3.07%
Northern Precinct	48,484	32,614	425	15,445	2.31%
Northern Green Link	12,988	5134	1178	6676	0.27%
Southern Green Link	6364	-	2295	4069	1%
TOTAL	128,635	50,211	31,668	46,756	6.65%
Drainage includes all open channels, UFZ, and wetlands					
All areas are approximate and subject to detailed design and the final Plan of Subdivision					

11. Residential Subdivision and Farm Lot Guidelines

Residential subdivision in the Low Density Residential Zone is limited to lots greater than 2000m². Preliminary design suggests the development will include between 105 and 125 residential lots within the development plan area. The final number may vary based on detailed design and the planning permit application for the site. The indicative concept used for preparation of the development plan shows 109 lots plus a lifestyle village.

11.1. Hume Freeway Interface

Traffic noise generated by the Hume Freeway constrains residential development in the southern portion of the site. No dwellings can be constructed within 120m of the southern boundary without acoustic treatment. Consistent with the recommendations of the *Road Traffic Noise Assessment Land: 72 Golf Course Rd*, by ARUP, a 3m acoustic fence will be constructed along the Hume Freeway with the following design considerations:

- The 3m height can be made up of mounding and/or acoustic fencing.
- Due to the reserve at the southwest corner of the site, the acoustic fence return on the west side should be at least 50m and run along the drainage reserve.
- Due to the reserve at the southeast corner of the site, the fence return on the east side should be approximately 115m.

11.2. Residential Character Areas

The residential subdivision includes four character areas that reflect the different features and locations of the site. They include the Arboretum Lots, Standard Lots, Golf Course Lots, and Lifestyle Lots. The following tables provide a character description of these areas and guidelines that apply to construction of dwellings and associated works on each of the residential lots. The guidelines should be implemented through a restriction on title that references a Council approved Housing Design Guidelines document. The guidelines outlined below may be refined or amended during the subdivision permit application process.

Figure 21 - Residential Character Areas





Standard Low Density Lot Guidelines

This is the central component of the subdivision where lots will typically be rectangular and between 2000-3000m².

- All dwellings should be set back 10m from the front boundary.
- Side fencing must be setback at least 4m from the front of the dwelling.
- Steel panel fencing (ie. Colorbond) can be used for back and side fencing only. It must not be visible from the street.
- Fencing on the side boundary of corner lots must not be steel panel fencing.
- Fencing on the side boundary of corner lots should be set back 10m from the front of the dwelling to allow for the dwelling to address both street frontages.
- Dwellings on corner lots should address both street frontages by continuing design elements from the front façade to the side of the dwelling.
- Each property is limited to a single crossover to the front of the site.
- Any fencing from 4m behind the front of a dwelling, at the side or front of a property, is considered front fencing. Front fencing must be no greater than 1200mm high and at least 50% transparent.
- Landscaping with native species including those from Appendix B is encouraged.

Arboretum Lot Guidelines

These lots make up the western component of the subdivision and form an interface with the Euroa Arboretum. In this area, the road has long curves and will appear wider due to integration of the drainage channel. Lots in this area are generally larger than the standard lots and some are irregular in shape.

- All dwellings should be set back 10m from the front boundary. Lots backing onto the Hume Freeway require dwellings to be setback 20m from the front boundary.
- No dwellings may be constructed within the 33m setback for bushfire risk.
- No dwellings should be constructed within 3m of the side boundary of each lot.
- Side fencing must be setback at least 4m from the front of the dwelling.
- Steel panel fencing (ie. Colorbond) cannot be used for any fencing abutting the western boundary or open space reserves. Steel panel fencing may only be used between properties where it is not visible from the street.
- Fencing on the side boundary of corner lots must not be steel panel fencing. It should be set back 10m from the front of the dwelling to allow for the dwelling to address both street frontages.
- Any fencing from 4m behind the front of a dwelling, at the side or front of a property, is considered front fencing. Front fencing must be no greater than 1200mm high and at least 50% transparent.
- Dwellings on corner lots should address both street frontages by continuing design elements for the front façade around the side of the dwelling.
- Front yards should be landscaped using native species to complement the interface with the Euroa Arboretum. Native species listed in Appendix B should be considered.
- Each property is limited to a single crossover to the front of the site.

Lifestyle Lot Guidelines

These are large lots, greater than 6000m², that back onto the Hume Freeway. They are designed to allow for rural or trade uses where larger lots are required and sheds or other outbuildings may be constructed at the back of the lots. It is important that these lots maintain an attractive frontage to the street.

- All dwellings should be set back 20m from the front boundary.
- No dwellings may be constructed within the 33m setback for bushfire risk.
- No dwellings should be constructed within 5m of the side boundary.
- Side fencing must be setback at least 4m from the front of the dwelling.
- Steel panel fencing (Colorbond) cannot be used for any fencing to the front of dwellings. Steel panel fencing may only be used between properties where it is not visible from the street.
- Any fencing from 4m behind the front of a dwelling, at the side or front of a property, is considered front fencing. Front fencing must be no greater than 1200mm high and at least 50% transparent.
- Front yards must retain a maintained appearance to the local road and not be used for storage of equipment, supplies or waste or unsightly materials.



Golf Course Lot Guidelines

These lots make up the eastern component of the subdivision and form an interface with the Golf Course Road and the Euroa Golf Course. These lots have the most convenient access to the Golf Course via the green links or direct access from the rear yards.

- All dwellings should be set back 20m from the front boundary.
- No dwellings may be constructed the 33m setback for bushfire risk.
- Lots backing onto Golf Course Road should not have dwellings constructed within 40m of Golf Course Road reserve.
- No dwellings should be constructed within 3m of the side boundary.
- Side fencing must be setback at least 4m from the front of the dwelling.
- Steel panel fencing (ie.Colorbond) cannot be used for any fencing abutting Golf Course Road or open space reserves. Steel panel fencing may only be used between properties where it is not visible from the street.
- Fencing on the side boundary of corner lots must not be steel panel fencing. It should be set back 10m from the front of the dwelling to allow for the dwelling to address the front and side street.
- Dwellings on corner lots should address both street frontages by continuing design elements for the front facade around the side of the dwelling.
- Any fencing from 4m behind the front of a dwelling, at the side or front of a property, is considered front fencing. Front fencing must be no greater than 1200mm high and at least 50% transparent.

11.3. Farm Character

Farm Lot Guidelines

The farm lot consists of land in the Farm Zone and the Low Density Residential Zone. A dwelling associated with the farm lot will be located on the prominent northwest corner of the roundabout when entering the residential area. The farm component will extend to the north, in the farm zone. The farm lot will run along the entire western side of the entry road and so will play a significant role in defining the character of the entire development site. It will be the first impression given to people as they enter the development from Euroa Main Road. The farmhouse will be located at the entry to the residential subdivision.

- Post and beam farm fencing must be provided along the boundary of the farm site. Star picket and barbed wire fencing will not be permitted.
- The residential component of the property must be at least 2000m² located outside the wastewater treatment facility buffer. The site can be in a single title.
- No dwelling must be constructed within the 16m retained vegetation buffer.
- Domestic vehicle access to the dwelling should be from the entry road.
- The dwelling should front towards the entry road so that the front yard extends along the boundary with the entry road and side fencing is avoided at the entry to the residential precinct.
- Commercial vehicle access to the Farm Zone land can be from the entry road within the farm zone.
- All native vegetation on the site must be retained unless the Council issues a permit for it to be removed.
- A Section 173 Agreement for the farm site should be prepared to:
 - Control access locations to the farm lot.
 - Restrict the location of a dwelling to the LDRZ only.
 - Control any fencing at the shared boundary with the western open space precinct.
 - Control any fencing along the frontage to the entry road.
 - Restrict storage of unsightly equipment and rubbish.
 - Prevent any uses that may be considered detrimental to the residential subdivision.



12. Lifestyle Village Guidelines

The lifestyle village is a single land holding that will be used for a 'residential village' catering to older generations who are seeking a high amenity living environment with community facilities, bowls clubs and convenient access to the Euroa Golf Club.

The site includes land within the Low Density Residential Zone, Farm Zone and Urban Floodway Zone. Some areas of the site are currently subject to inundation which can be addressed through the final design of the site.

It is critical to create a secure village that still integrates with the broader residential area. The concept plan and guidelines below will ensure this is achieved. The site will be subject to a separate planning permit application for its use and development and these guidelines should be considered as part of that assessment.

Roads

- The main site access must be from the entry road on the western side of the lot.
- A private road network should include a main drive that extends from the roundabout on the entry road to the Farm Zone land on the east side of the Urban Floodway Zone. This must not connect through to Golf Course Road.
- Any road crossing the Urban Floodway Zone must include culverts to maintain adequate stormwater flows.
- Internal roads may be located within the Farm Zone land.
- A road must run along the native vegetation buffer at the southern boundary of the site to allow for maintenance and pedestrian movements.

Native Vegetation Buffers

- A 5m native vegetation buffer must be provided along the southern boundary of the site at the interface with the residential subdivision.
- A 5m native vegetation buffer should be located along either side of the main drive at the entry to the site. This will merge with the native vegetation areas on the east side of the entry road to enhance the rural character of the site.
- The native vegetation buffers work to enhance the rural character of the Lifestyle Village and to create native vegetation corridors from the Golf Course towards the Arboretum. The Arboretum should be contacted for advice on appropriate planting within these buffers and may be able to supply plants.
- Native trees identified within this development plan are located near the entry to the lifestyle village and within the Urban Floodway Zone land. These trees should be retained and incorporated into a landscape plan for the site.
- No dwellings or major buildings should be constructed within the bushfire risk setback of 33m from the eastern boundary, 19m from the northern boundary and 16m from the retained vegetation.

Independent Living Units

- All independent living units must be located outside of the Farm Zone and Urban Floodway Zone land.
- Independent living units should generally be orientated to allow for northern solar access to internal living areas where possible.
- Independent living units must not back onto the residential subdivision to the south.
- Independent living units must face towards the northern green link area and Golf Course Road.

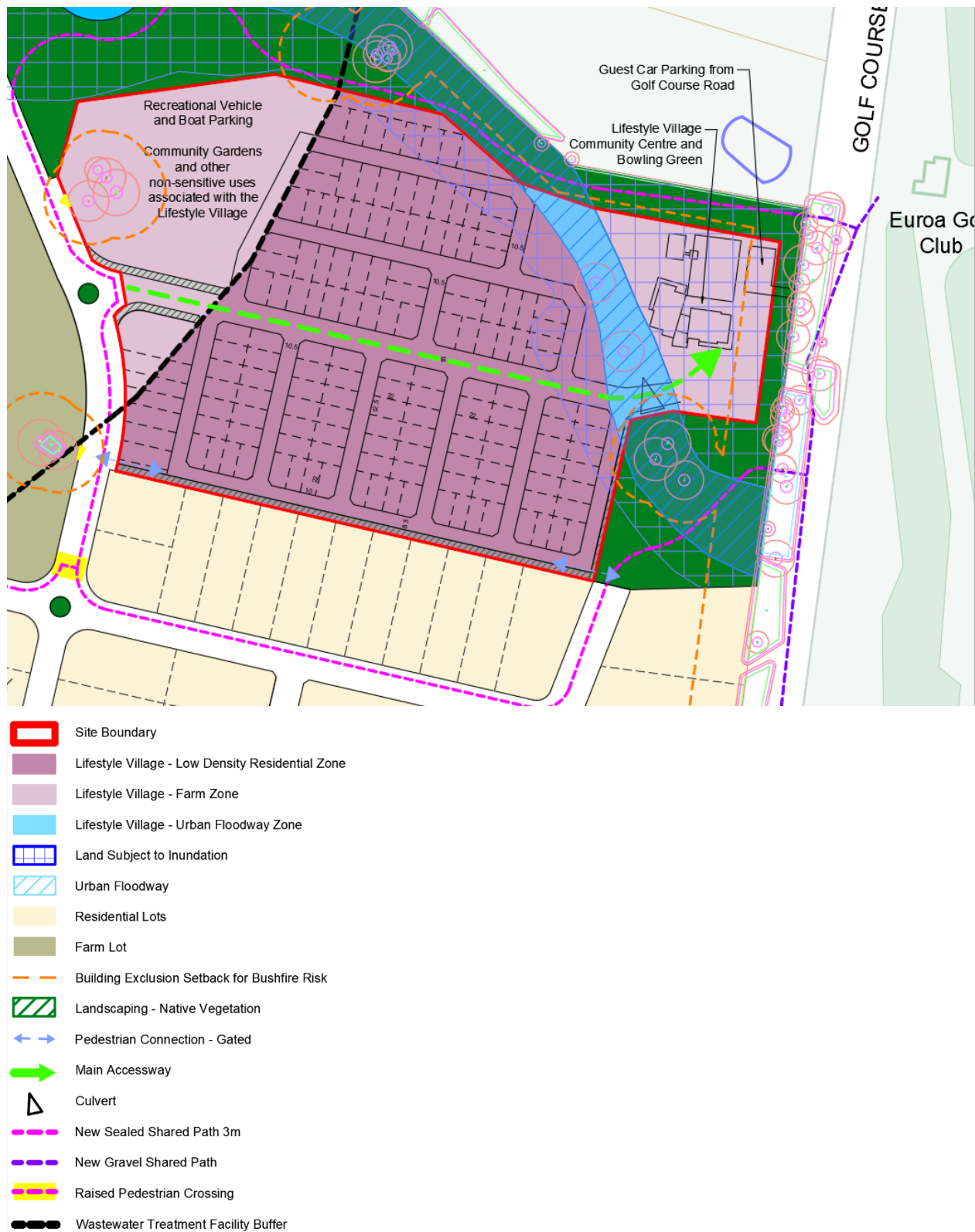
Facilities and Amenities

- A community centre and bowling greens should be located to the east of the Urban Floodway Zone.
- A general car parking lot for visitors and service vehicles can be provided near Golf Course Road. A single access point from Golf Course Road can be provided. However, no vehicle connections are permitted between Golf Course Road and the residential component of the village.
- Land within the Wastewater Treatment Buffer is in the Farm Zone and can be used to provide amenity to the Lifestyle Village such as community gardens or recreational vehicle parking. Uses in this area must consider the appearance of the site from the Euroa Main Road and access road into the site.
- Gated pedestrian links should be provided in the southeast and southwest corners of the site to create a private pedestrian connection between the green link and the entry road.



- Fencing on the east, west and north side of the lifestyle village site must be semitransparent. No solid metal fencing should be visible from the public realm.
- Any storage or uses in the Farm Zone land must consider their appearance from the public realm. These areas may be screened with native vegetation.

Figure 22 - Lifestyle Village Concept





13. Infrastructure and Staging

Servicing investigations have determined existing infrastructure and a consultation with the relevant authorities has confirmed service infrastructure requirements for development of this site. It is currently proposed that the development occurs in two stages. A plan showing the indicative stage boundaries is provided below for consideration of service infrastructure provision. The information below outlines these requirements and particular design considerations.

13.1. Potable Water

Two water connections are required once more than 40 standard lots are developed. Stage 1 is expected to include approximately 50 lots and will also create a lifestyle village lot. The lifestyle village lot will be subject to a separate permit application so won't create immediate demand for provision of potable water. This means that the two water connections will be required at the beginning of the development. Details of the two proposed connections are outlined below.

Euroa Main Road Connection

- A new DN150 water main will be constructed within the entry road reserve, under the Euroa Main Road and then north to the existing 50mm AC water main location in the north side off Euroa Main Road.
- The existing 50mm diameter AC water main in Euroa Main Road up to Golf Course Road will need to be upgraded to DN150 main in partnership with Goulburn Valley Water.
- The existing 100mm diameter AC water main from Golf Course Road to Stewart Street will need to be upgraded to DN150 main in partnership with Goulburn Valley Water.
- A non-return valve may be required within the entry road due to the booster pump station associated with the second connection.
- Detailed alignment of the new and upgraded water mains will be subject to detailed design and should avoid native vegetation where possible.

Golf Course Road Connection

- The existing DN200 water main at Simpson Lane and Stewart Street (junction 8058274) will be extended through Simpsons Lane to Golf Course Road.
- The new DN200 main will be extended down Golf Course Road to the Northern Green Link that runs along the road reserve and connects to the shared driveway within the residential subdivision.
- The detailed alignment of the new water main will be subject to detailed design and should avoid native vegetation where possible. This can be done by boring and several possible pit locations have been identified within Golf Course Road.
- A new DN150 main will be required within the Green Link and local road network of the proposed development.
- The new DN150 may be located in a paper road reserve as part of the green link if required by Goulburn Valley Water. This will be determined as part of detailed design.
- Due to site topography, the site cannot be fully supplied with 20mm pressure from the current Euroa water network. A dedicated water booster pump for some or all of the development will be required at developer cost. A preferred location for this is within the Northern Open Space Precinct with vehicle access from Gold Course Road, subject to final design and Goulburn Valley Water approval. A reserve in favour of Goulburn Valley Water will be required for this infrastructure.

Further details of works and funding arrangements are outlined in the *Services and Utilities Infrastructure Report* prepared by Terraco.



13.2. Sewer

Goulburn Valley Water have supported a direct sewer connection from the development site to the Euroa Waste Management Facility (WMF). Details of this infrastructure include:

- A new sewer pump station on the east side of the entry road, subject to detailed design.
- A new rising main from the pump station to the WMF. The rising main will extend along the entry road, across Euroa Main Road and can be located inside the WMF boundary fence. A 4m easement will be required over the rising sewer main within the WMF site.
- Rising main across GVW land to be marked clearly with signposts and located clear of current infrastructure.
- At the Developers request, Goulburn Valley Water will investigate potential for a wider catchment area beyond the development boundary for the sewer pump station which may result in a Goulburn Valley Water contribution.

13.3. Electricity

Electricity will be connected to the existing overhead high voltage power supply at the northern corner of the site. It will run underground and along the entry road reserve to the lifestyle village and residential subdivision. Some upgrades may be required depending on loading requirements and final design.

13.4. Gas

Euroa township has reticulated gas located approximately 700m from the site in Clifton Street. Development of this area should consider not having a gas connection to enhance the overall sustainability of the development.

13.5. Telecommunications

There are existing Telstra cables running along Euroa Main and Golf Course Road. The lots will obtain NBN service via fixed wireless.

13.6. Indicative Staging and Infrastructure Requirements

The plan on the following page highlights key infrastructure required for the proposed development. It also shows indicative stage areas. This allows for consideration of which infrastructure may be required as part of each stage.

Stage 1 is currently shown as 52 lots plus the farm site and the lifestyle village lot. Stage 2 includes the balance of the residential subdivision at the eastern side.

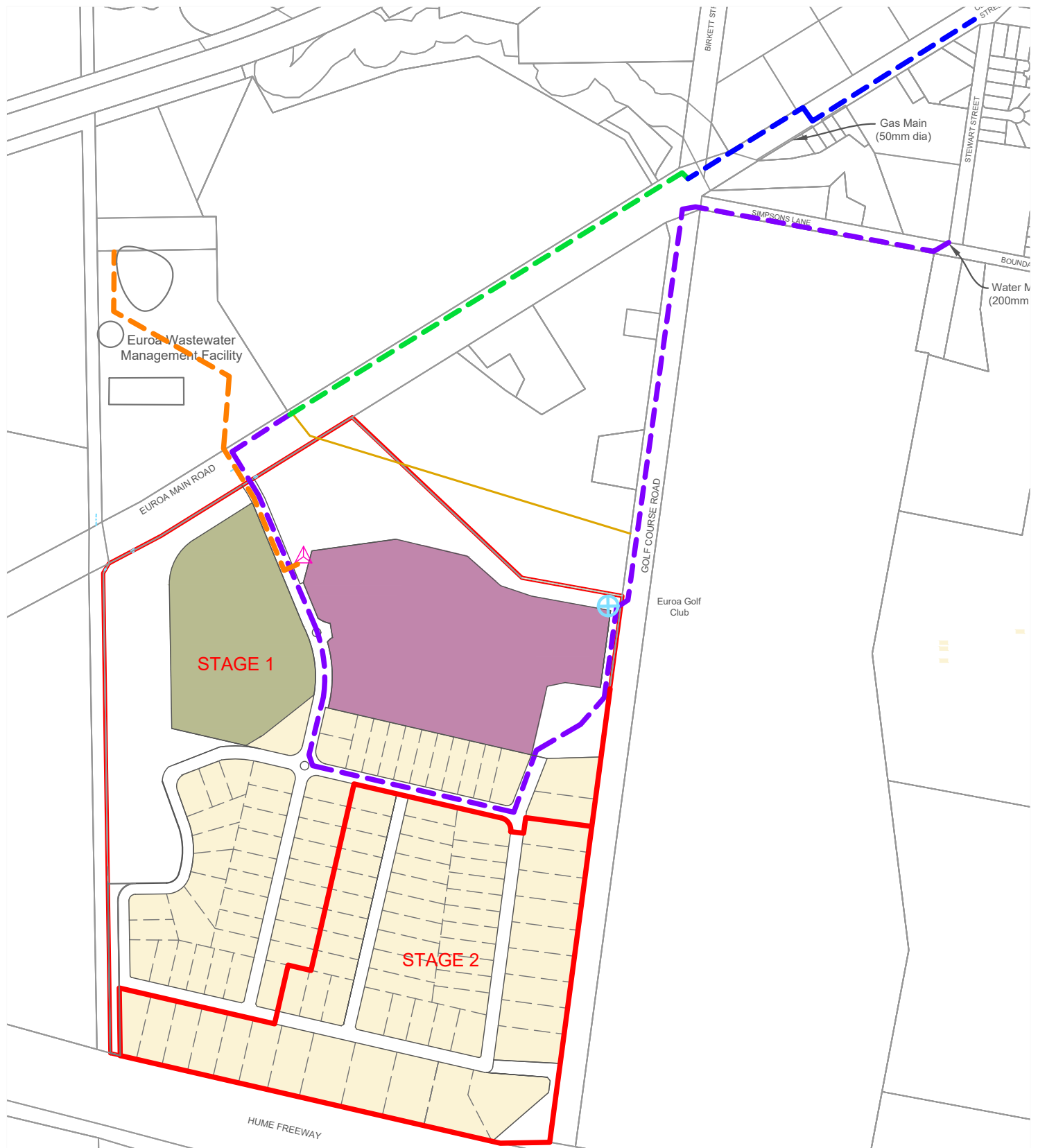
Stage 1 will require most of the infrastructure to be delivered including:

- New intersection at Euroa Main Road and entry road into the site
- Sewer Pump Station and Rising Sewer Main
- Euroa Main Road water main connection and upgrade
- Golf Course Road water main connection
- New wetland/retarding basin in the northern part of the site
- Drainage channel in southwest corner.
- Drainage channel in western open space precinct connecting to the wetland with culvert under the entry road.
- Shared path connection in the Western Open Space Precinct including connection to Arboretum

Stage 2 will rely on the infrastructure provided in Stage 1 but will also require:

- Noise attenuation wall along the southern boundary of the site with returns on either end.
- Shared gravel path in Golf Course Road up to the Golf Course parking lot.
- Drainage channel in southeast corner from the Hume Freeway culverts to the Euroa Golf Course dam.
- Stormwater strategy work within the Euroa Golf Club

PLAN 4 - STAGING AND INFRASTRUCTURE



LEGEND	
	Stage Boundary
	Residential Lots
	Farm Property
	Lifestyle Village Property
	Proposed Sewer - Rising Main
	Proposed Sewer Pump Station
	Proposed Water Main
	Water Main Upgrade
	Water Main Upgrade
	Proposed Water Pump Station
	Existing Overhead Powerlines
	Native Vegetation Impact Area

NOTES

1. A sewer pump station is required at a low point for the development. A rising main will run along the entry road, under the Euroa Main Road and follow the recycled water main alignment with a new easement within the Euroa Wastewater Management Facility.
2. A 200dia water main connection is available at Boundary Road South and Stewart Street. A second connection is required along Euroa Main Road and will require an upgrade of the existing water main.
3. Overhead power lines currently cross the northern portion of the site.
4. A gas main is available near Clifton Street if required.
5. Staging is indicative and will be determined as part of a planning permit application.

EUROA EASTERN GATEWAY DEVELOPMENT PLAN

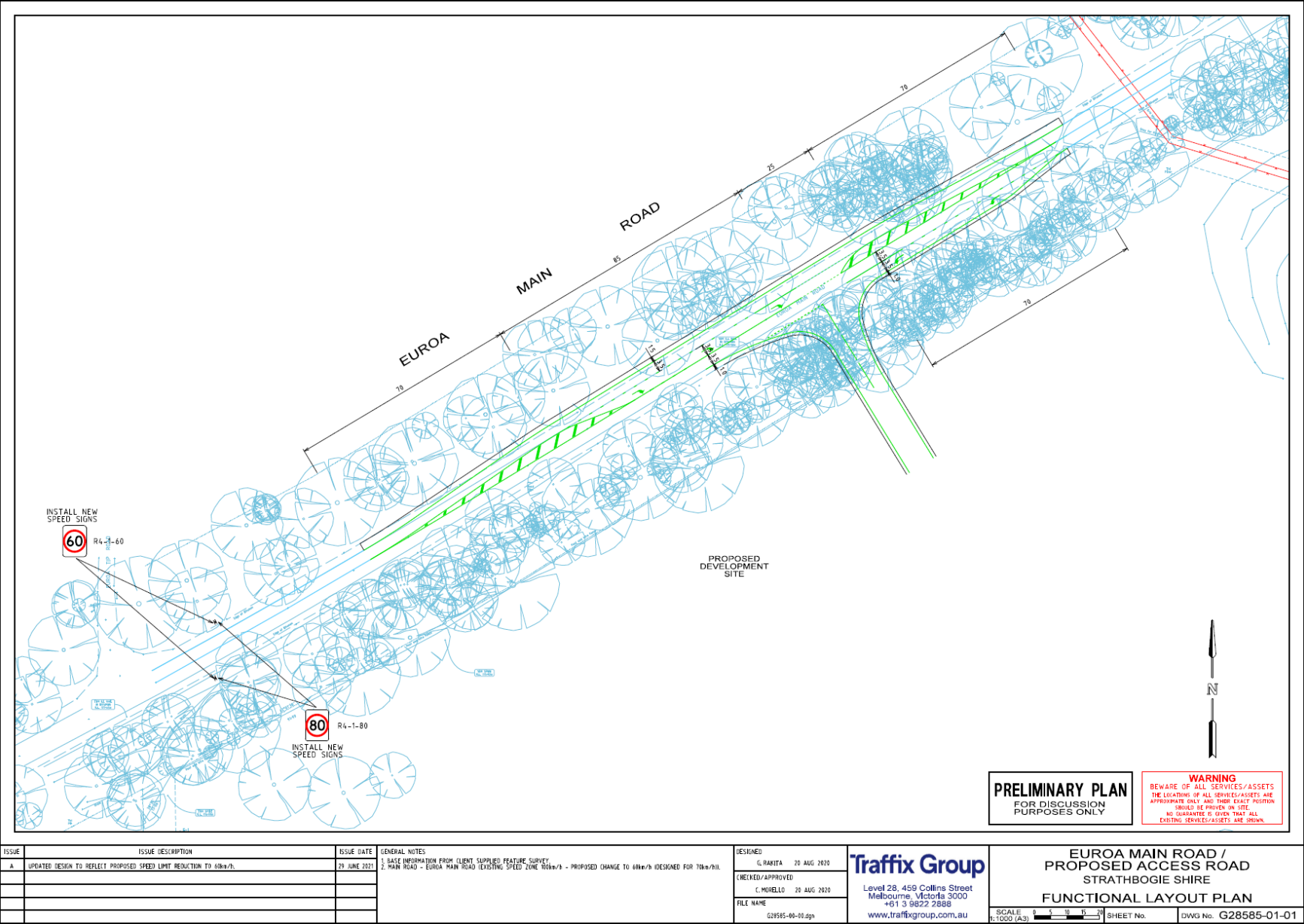


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Date: 28 July 2022
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Appendix A - Intersection Functional Design





Appendix B - Recommended Native Vegetation Species

The following table of native vegetation species has been provided by the Euroa Arboretum. It is recommended that they are considered for any landscaping in the open space precincts, road reserves, lifestyle village and private residential lots.

Trees	
Botanical Name	Common Name
Acacia implexa	Lightwood Wattle
Allocasuarina leuhmannii	Buloke
Allocasuarina littoralis	Black She Oak
Allocasuarina verticillata	Drooping She Oak
Eucalyptus albens	White Box
Eucalyptus behriana	Bull Mallee
Eucalyptus blakelyi	Blakelys Red Gum
Eucalyptus camaldulensis	River Red Gum
Eucalyptus melliodora	Yellow Box
Eucalyptus microcarpa	Grey Box
Eucalyptus polybractea	Blue Mallee
Eucalyptus viridis	Green Mallee

a	
Botanical Name	Common Name
Acacia acinacea	Gold Dust Wattle
Acacia verniciflua	Varnish Wattle
Acacia genistifolia	Spreading Wattle
Acacia paradoxa	Hedge Wattle
Acacia pycnantha	Golden Wattle
Acacia flexifolia	Bent leaf Wattle
Acacia montana	Mallee Wattle
Acacia penninervis	Mountain Hickory Wattle
Callistemon sieberi	River Bottlebrush
Calytrix tetragona	Fringe Myrtle
Dillwynia cinerescens	Grey Parrot Pea
Dillwynia sericea	Showy Parrot Pea
Eutaxia microphylla	Common Eutaxia
Grevillea alpina	Cats Claw Grevillea
Indigofera australis	Austral Indigo
Pultenea humilis	Dwarf Bush Pea
Pultenea laxiflora	Loose flower Bush Pea
Pultenea largiflorens	Twiggy Bush Pea
Viminaria juncea	Golden Spray



Appendix C - Supporting Reports

The following reports have been prepared as part of the Development Plan. They are available as separate documents.

Afflux Consulting, *Drainage and Flood Investigation, 72 Golf Course Road, Euroa*, prepared by Tess Fuhrmann, 29 June 2022, Report Reference V3.

ARUP, *Road Traffic Noise Assessment Land: 72 Golf Course Rd*, prepared by Jim White, 8 June 2022, Report Reference: 276782-00.

Atma Environmental, *Preliminary Environmental Site Assessment: 72 Golf Course Road, Euroa, VIC*, prepared by Allan Campbell, 3 July 2020, Report Reference: 1889 Euroa.

Ecology & Heritage Partners, *Biodiversity Assessment: 72 Golf Course Road, Euroa, Victoria*, prepared by Gemma Tomkins and Anneke Martin, August 2022, Project Number: 13985.

Ecology & Heritage Partners, *Targeted Cultural Heritage Letter of Advice (LoA) for 72 Golf Course Road, Euroa, Victoria*, prepared by Tyler Whitmarsh, 18 August 2020, Project Number: 13985.

Ecology & Heritage Partners, *Native Vegetation Management Plan for 72 Golf Course Road, Euroa, Victoria*, prepared by Anneke Martin, December 2021, Project Number: 13985.

Ecology & Heritage Partners, *Bushfire Risk Assessment: 72 Golf Course Road, Euroa Victoria* prepared by Sara Petrovic and Sally Burgemeestre August 2022 Project Number: 15983.

Terraco, *72 Golf Course Road, Euroa, Proposed Residential Development, Servicing and Utilities Infrastructure*, prepared by Paul Bowe, November 2021, Terraco Ref: 19145.

Traffix Group, *Traffic Engineering Assessment 72 Golf Course Road, Euroa*, prepared by S. Goh, July 2022, Report Reference: G28585R-01D.

Treelogic, *Arboricultural Assessment and Preliminary Report*, prepared by Andrew Traczynski, 15 September 2020, Report Reference: 010855.

Webster Survey Group, *72 Golf Course Road, Euroa 3666, Feature and Level Survey*, prepared by ED, 9 July 2020, Drawing Ref 17046.