

**Date Issued: 22 September 2020**

**NOTICE OF AN APPLICATION FOR A PLANNING PERMIT**

The land affected by the application is located at: **40 River Street, Nagambie**

The application is for a Permit for:

**Use and development of land for five (5) dwellings; Five (5) lot subdivision; Creation of easement**

The applicant for the Permit is:

**Tess Coates, Spiire**

The application Reference Number is:

**P2020-115**

You may view the application and any documents that support the application at the office of the Responsible Authority:

*Strathbogie Shire Council*

*109A Binney Street Euroa*

*Telephone: (03) 5795 0000*

This can be done during office hours and is free of charge.

Any person who may be affected by the granting of the Permit may object or make other submissions to the Responsible Authority.

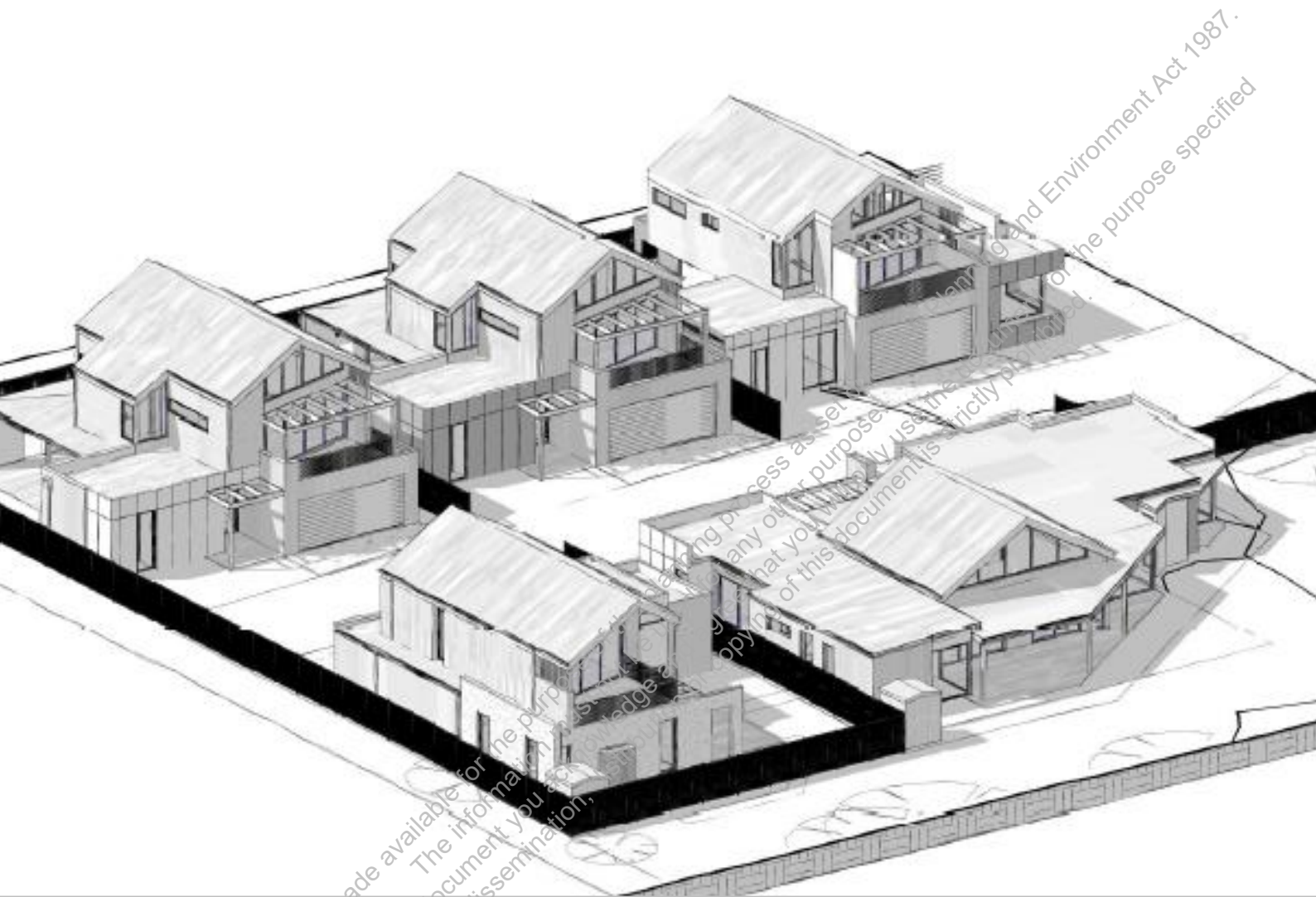
An objection must be sent to the Responsible Authority in writing, include the reasons for the objection and state how the objector would be affected.

*The Responsible Authority will not decide on the application before: **12 October 2020***

All objections are placed on the relevant Planning Permit application file, which is publicly available at all times. Objections can therefore be read and used by other parties.

An objection form is available from Strathbogie Shire Council office, by phoning Council on (03) 5795 0000 or at <https://www.strathbogie.vic.gov.au/development/statutory-planning/objections>

If you submit an objection, the Responsible Authority will tell you of its final decision.



## FIVE LOT SUBDIVISION AND TOWNHOUSE DEVELOPMENT

38-40 RIVER STREET, NAGAMBIE  
SEPTEMBER 2020

PREPARED FOR CRC CONSTRUCTIONS

This report has been prepared by the office of Spiire  
144 Welsford Street PO Box 926 **Shepparton** Victoria 3632

## Acknowledgements and Recognition

Shane DeAraugo - CBA Building Designers

Issue Date	Rev No	Authors	Checked	Approved
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Spiire Job Number: 307993

Citation: Spiire 2020, FIVE-LOT SUBDIVISION AND TOWNHOUSE DEVELOPMENT Report for CRC CONSTRUCTIONS.

Authors: T. Coates, Spiire Australia Pty Ltd, Project Number 307993

File Name: PL3077993 Planning Report Rev B.docx

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## 1. INTRODUCTION

Spiire acts on behalf of CRC Constructions Pty Ltd for this planning permit application seeking for a “five-lot subdivision, construction of five dwellings and creation of easements” at land known as 38-40 River Street, Nagambie.

The subject site is comprised of two separate parcels, formally known as Lot 1 and 2 on LP86248, currently used and developed with an established dwelling and vacant land respectively.

The application proposes to subdivide the land into 5 residential lots, create a road for access and creation of easements. Each new lot will be developed with a one or two storey detached dwelling. The design utilises site-responsive landscaping and a contemporary style to ensure the proposal respects local neighbourhood character and amenity.

The subject site is contained within the General Residential Zone – Schedule 1 and is partially affected by the Land Subject to Inundation Overlay and Floodway Overlay. The subject site is also contained within a designated bushfire prone area.

A planning permit is required under the following provisions of the Strathbogie Planning Scheme:

- ▶ *Clause 32.08-3 General Residential Zone: To subdivide land.*
- ▶ *Clause 32.08-6 General Residential Zone: To construct two or more dwellings on a lot.*
- ▶ *Clause 44.03-3 Floodway Overlay: To subdivide land.*
- ▶ *Clause 44.04-3 Land Subject to Inundation: To subdivide land.*
- ▶ *Clause 52.02 Easements, Restrictions and Reserves: To create, vary or remove an easement or restriction.*

This Report provides a description of the proposed development and examines the context of the site and undertakes an assessment against the relevant statutory and strategic planning framework.

The application is submitted with the following relevant information:

- ▶ Proposed Site and Elevation Plans prepared by CBA Building Designers
- ▶ Proposed Plan of Subdivision prepared by Spiire
- ▶ Completed Planning Permit Application Form
- ▶ Recent copy of Title and Title Plan

## 2. SUBJECT SITE AND CONTEXT

### 2.1 SUBJECT SITE

The subject site is located at 38-40 River Street, Nagambie and is comprised of two parcels known as Lot 1 and Lot 2 on Lodged Plan 86248. The lots are part of different properties however they are both within the same ownership.

The subject site is generally flat, with a gentle slope towards Lake Nagambie and encompasses an overall site area of approximately 3,183 square metres. The site has a street frontage of 54.5 metres to River Street and a frontage of 58.3 metres to the River Street Reserve. Access to the site is currently gained via a crossover at River Street.

The subject site currently contains a dwelling and associated shedding and planted vegetation on Lot 1 (40 River Street), while the land on Lot 2 is vacant (38 River Street).

The subject site is contained within the General Residential Zone – Schedule 1 and is partially affected by the Land Subject to Inundation Overlay and Floodway Overlay. The subject site is also contained within a designated bushfire prone area.

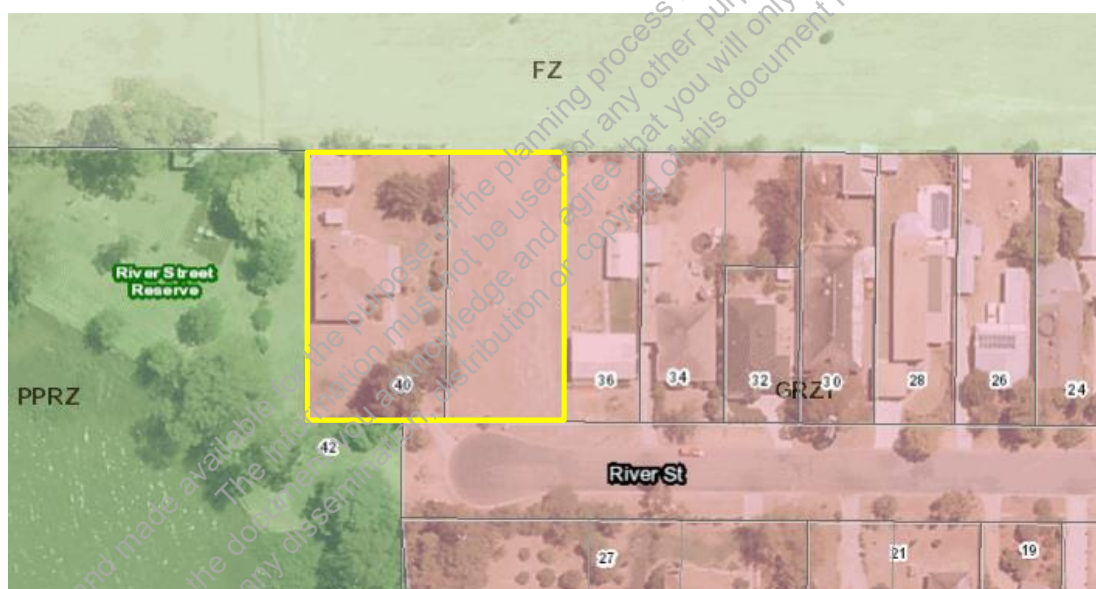


Figure 1: Subject Site

### 2.2 SURROUNDING CONTEXT

The subject site is located in the north of Nagambie, approximately 670m north-west of the Nagambie Town Centre, on the edge of Lake Nagambie. Given the site's proximity to these features, it's location is ideal for additional and diverse residential development in the north of the Nagambie Township. The site is situated amongst a mix of established and more recent residential development, with good opportunity for recreation and environmental amenity adjacent to Lake Nagambie.

**North of the site:** Land to the north is known as 19 Lobbs Lane, Nagambie is a large vacant rural parcel currently in the Farming Zone which is proposed for future residential subdivision. Further north is land within the Low Density Zone used for low-scale agricultural and residential purposes.

**East of the site:** Land to the east is known as 36 River Street and is developed with a single dwelling and associated domestic infrastructure. Further east are residential properties on similar sized lots with single dwellings and High Street/ Grimwade Road.

**South of the site:** Land to the south contains River Street, a local, no through road, the property at 27 River Road, a larger lot containing a single dwelling and Lake Nagambie. Further south is Lake Nagambie and the Nagambie Medical Centres.

**West of the site:** Land to the west contains River Street Reserve and Lake Nagambie, which are well utilised recreation areas. Further west is the Goulburn River and Nagambie Lakes Leisure Park.

## 2.3 LOCAL SERVICES AND FACILITIES

The following services and facilities are located within proximity to the site:

### Commercial

- ▶ Nagambie Town Centre 0.6 kilometres south east

### Education

- ▶ St Joseph's Primary School 0.5 kilometres south east
- ▶ Nagambie Primary School 1.1 kilometres south east

### Health

- ▶ Nagambie Medical Centre/Nagambie Healthcare 0.2 kilometres south

### Transport

- ▶ Nagambie Railway Station 1.2 kilometres south east
- ▶ Goulburn Valley Freeway 2.5 kilometres east

### Recreation

- ▶ River Street Reserve 0.0 kilometres west
- ▶ Nagambie Bowls, Croquet and Tennis Clubs 0.8 kilometres south east
- ▶ Nagambie Lakes Regatta Centre 1.9 kilometres south west

### Natural Environment

- ▶ Lake Nagambie 0.1 kilometres west

### 3. PROPOSAL

This application seeks approval for the subdivision of land into five allotments, the construction of five dwellings and the creation of easements. The key elements of the proposal are described below.

#### 3.1 SUBDIVISION

It is proposed to subdivide the land into five allotments, with access to all lots via a new central laneway aligned generally north-south through the centre of the site.

Details of the proposed lots are as follows:

- ▶ Lot 1: Located on the eastern side of the River Street frontage, this lot has a proposed area of 463sqm and a frontage to River Street of 18.66m.
- ▶ Lot 2: Located in the centre of the site, this lot has a proposed area of 371sqm, with a frontage to the internal road of 17.4m.
- ▶ Lot 3: Located at the rear of the site, this lot has a proposed area of 400sqm, with a frontage to the internal road of 17.54m.
- ▶ Lot 4: Located at the rear of the site, this lot has a proposed area of 430sqm, with a frontage to the internal road of 17.54m.
- ▶ Lot 5: Located in the western side of the River Street frontage, this lot has a proposed area of 998sqm and a frontage to River Street of 20.85m and River Street Reserve.

The subdivision also involves the creation of a new no-through road in the centre of the site. The road will be 7m wide laneway to allow for the provision of services. A 6.5m wide car parking area will be included in the south of the road reserve.

Refer to the Plan of Subdivision submitted with the application for further details.

#### 3.2 DWELLINGS

The application includes the construction of 5 dwellings, 1 on each lot respectively:

- ▶ Dwelling 1: Double storey dwelling with 3 bedrooms and 2 bathrooms, including master ensuite, double garage and private outdoor space including covered alfresco area and first floor balcony.
- ▶ Dwelling 2: Double storey dwelling with 3 bedrooms and 2 bathrooms, including master ensuite, double garage and private outdoor space including covered alfresco area and first floor balcony.
- ▶ Dwelling 3: Double storey dwelling with 3 bedrooms and 2 bathrooms, including master ensuite, double garage and private outdoor space including covered alfresco area and first floor balcony.
- ▶ Dwelling 4: Double storey dwelling with 3 bedrooms and 2 bathrooms, including master ensuite, double garage and private outdoor space including covered alfresco area and first floor balcony.

- ▶ Dwelling 5: Single storey dwelling which fronts with aspect onto River Street Reserve. Including 4 bedrooms and 2 bathrooms, including master ensuite, indoor store room, double garage and private outdoor space including covered alfresco area.

All dwellings and entrances will be orientated to front the new internal laneway and setback a minimum of 2 metres from the laneway. Site coverage of the dwellings will range between 32% and 52% the total lot area.

### 3.3 DESIGN

Each dwelling will be constructed in a contemporary design which reflects the Nagambie style and respects the environmental setting of the site. Dwellings 1-4 are of a similar design with slight variations in response to the respective lot features and to provide a sense of uniqueness for each property, while Dwelling 5 is has been carefully designed with regard to its lakeside position.

Walls of the first floor will be setback from the ground floor to provide a graduation in height and interest to the built form of the dwellings. Rooves will comprise a mix of flat and pitched shapes at different heights.

The dwellings will be constructed of exposed and rendered brick, timber-look cladding, compressed fibre cement panels, and corrugated sheet roofing with steel features in neutral, muted colours in various tones.

Colourbond side and rear fencing will be used to ensure residents' privacy. All frontages to the new laneway will remain unfenced and fencing at River Street and River Street Reserve boundaries will be of a low, open style Landscaping which complements the built form, neighbourhood character and natural features of the Lakeside environment will be provided throughout the development, with particular attention at site frontages and interfaces with public land.

### 3.4 ACCESS

Access to the new dwellings will be provided via the new road through the centre of the site. The road will have vehicle access from River Street only, with bollards along the northern boundary to prevent vehicles moving to and from the future development to the north, whilst allowing pedestrians and cyclists to pass through.

In accordance with the requirements of the development of the land to the north, the road will also serve as emergency access to and from the future streets. Bollards will be locked at all times, except in emergency situations whereby the local branch of the Country Fire Authority (CFA) will unlock and remove the bollards.

### 3.5 EASEMENTS

The application includes the creation of two easements which are 2.5 metres wide. The easements run along the rear of lots 2, 3 and 4 for Pipelines or Ancillary Purposes in favour of Goulburn Valley Water.

### 3.6 PHYSICAL INFRASTRUCTURE

#### Water Supply

Goulburn Valley Water is the relevant water authority in Nagambie. Reticulated water supply is readily available at the site and will be connected to all allotments.

### **Sewerage**

Goulburn Valley Water is the relevant authority for sewer infrastructure in Nagambie. Reticulated sewer is readily at the site and will be connected to all allotments.

### **Electricity**

Electricity is currently readily available on site and will be connected to all allotments.

### **Telecommunications**

Telecommunications connections are available to the site and will be connected to all allotments.

### **Drainage**

The Strathbogie Shire Council is the relevant authority for drainage and stormwater management. Infrastructure will be designed and constructed as per Authority requirements.

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## 4. STRATHBOGIE PLANNING SCHEME

The following provisions of the Strathbogie Planning Scheme are applicable to the proposal and have been considered with regard to this application.

### 4.1 PLANNING POLICY FRAMEWORK

A summary of the most relevant provisions of the PPF are provided below. The State Planning Policy Framework (SPPF) contained within the Strathbogie Planning Scheme details a series of objectives for land use and development in Victoria.

▶ Clause 11.01-1S Settlement

*'To ensure a sufficient supply of land is available for residential, commercial, retail, industrial, recreational, institutional and other community uses.'*

▶ Clause 12.03-1S River corridors, waterways, lakes and wetlands

*'To protect and enhance river corridors, waterways, lakes and wetlands.'*

▶ Clause 13.02-1S Bushfire planning

*'To strengthen the resilience of settlements and communities to bushfire through risk-based planning that prioritises the protection of human life.'*

▶ Clause 13.03-1S Floodplain management

*'To assist the protection of:*

- *Life, property and community infrastructure from flood hazard.*
- *The natural flood carrying capacity of rivers, streams and floodways.*
- *The flood storage function of floodplains and waterways.*
- *Floodplain areas of environmental significance or of importance to river health.'*

▶ Clause 14.02-1S Catchment planning and management

*'To assist the protection and restoration of catchments, water bodies, groundwater, and the marine environment.'*

▶ Clause 15.01-2S Building design

*'To achieve building design outcomes that contribute positively to the local context and enhance the public realm.'*

▶ Clause 15.01-3S Subdivision design

*'To ensure the design of subdivisions achieves attractive, safe, accessible, diverse and sustainable neighbourhoods.'*

▶ Clause 15.01-5S Neighbourhood character

*'To recognise, support and protect neighbourhood character, cultural identity, and sense of place.'*

- ▶ Clause 16.01-1S Integrated housing

*'To promote a housing market that meets community needs.'*

- ▶ Clause 16.01-2S Location of residential development

*'To locate new housing in designated locations that offer good access to jobs, services and transport.'*

- ▶ Clause 16.01-3S Housing diversity

*'To provide for a range of housing types to meet diverse needs.'*

- ▶ Clause 19.03-3S Integrated water management

*'To sustainably manage water supply, water resources, wastewater, drainage and stormwater through an integrated water management approach.'*

## 4.2 LOCAL PLANNING POLICY FRAMEWORK

A summary of the relevant provisions of the Local Planning Policy Framework is provided below.

- ▶ Clause 21.02-1 Whole Municipality

This Clause outlines the municipal profile and identifies five key influences including sustainability, settlement, environment, community, economic growth and infrastructure. The Council Vision is:

*'A vibrant diverse and caring community, building a sustainable future with enhanced liveability in a secure and stimulating environment.'*

This Clause encourages urban growth within Nagambie due to its close proximity and access to Melbourne and natural features.

- ▶ Clause 21.02-6 Building Material – Muted Tones

This Clause seeks *'to ensure that all structures blend in with the surrounding environment and that the aesthetic amenity of the area is preserved and/or enhanced.'*

A relevant strategy of this Clause is *'require the use of buildings materials and colours which are in context with the surrounding environment.'*

- ▶ Clause 21.03-4 Nagambie

This Clause seeks *'to grow Nagambie as an agricultural service centre as well as a visitor, lifestyle and retirement centre.'*

Relevant strategies of this Clause include *'recognise Nagambie as a lakeside location and encourage the clustering of higher density dwellings around the town centre.'*

- ▶ Clause 21.04-3 Water

This Clause seeks *'to manage our water resources.'*

A relevant strategy of this Clause is *'ensure new developments consider impacts on surface and ground water resources, wetlands, rivers and streams.'*

▶ Clause 21.04-6 Flooding

This clause seeks *'to protect and manage floodplains.'*

A relevant strategy of this Clause is *'ensure all new development maintains the free passage and temporary storage of floodwater, minimises flood damage, is compatible with flood hazard and local drainage conditions, and minimises soil erosion, sedimentation and silting.'*

▶ Clause 21.07-3 Traffic Management

This Clause seeks *'to ensure the safety and efficient functioning of the roads for a variety of users while providing sustainable transport options.'*

A relevant strategy of this Clause is *'ensure new developments incorporate bicycle and pedestrian infrastructure, to provide safe and efficient access.'*

#### 4.3 ZONE

The site is located within the General Residential Zone, the purpose of which is:

- ▶ *'To implement the Municipal Planning Strategy and the Planning Policy Framework.*
- ▶ *To encourage development that respects the neighbourhood character of the area.*
- ▶ *To encourage a diversity of housing types and housing growth particularly in locations offering good access to services and transport.*
- ▶ *To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.'*

Pursuant to Clause 32.08-3 of the General Residential Zone, a planning permit is required for the subdivision of land. Four of the five lots will be between 300-500sqm.

Pursuant to Clause 32.08-6 of the General Residential Zone, a planning permit is required for the construction of two or more dwellings on a lot.

#### 4.4 OVERLAYS

##### Clause 44.03 Floodway Overlay

The purpose of this overlay is:

- ▶ *'To implement the Municipal Planning Strategy and the Planning Policy Framework.*
- ▶ *To identify waterways, major floodpaths, drainage depressions and high hazard areas which have the greatest risk and frequency of being affected by flooding.*
- ▶ *To ensure that any development maintains the free passage and temporary storage of floodwater, minimises flood damage and is compatible with flood hazard, local drainage conditions and the minimisation of soil erosion, sedimentation and silting.*
- ▶ *To reflect any declarations under Division 4 of Part 10 of the Water Act, 1989 if a declaration has been made.*

- ▶ *To protect water quality and waterways as natural resources in accordance with the provisions of relevant State Environment Protection Policies, and particularly in accordance with Clauses 33 and 35 of the State Environment Protection Policy (Waters of Victoria).*
- ▶ *To ensure that development maintains or improves river and wetland health, waterway protection and flood plain health.”*

Pursuant to Clause 44.03-3 of the Floodway Overlay states a planning permit is required for the subdivision of land. No development will occur on land affected by this overlay.

A permit may only be granted to subdivide land if the following apply:

- ▶ *The subdivision does not create any new lots, which are entirely within this overlay. This does not apply if the subdivision creates a lot, which by agreement between the owner and the relevant floodplain management authority, is to be transferred to an authority for a public purpose.*
- ▶ *The subdivision is the re-subdivision of existing lots and the number of lots is not increased, unless a local floodplain development plan incorporated into this scheme specifically provided otherwise.*

#### **Clause 44.04 Land Subject to Inundation Overlay**

The purpose of this overlay is:

- ▶ *“To implement the Municipal Planning Strategy and the Planning Policy Framework.*
- ▶ *To identify land in a flood storage or flood fringe area affected by the 1 in 100 year flood or any other area determined by the floodplain management authority.*
- ▶ *To ensure that development maintains the free passage and temporary storage of floodwaters, minimises flood damage, is compatible with the flood hazard and local drainage conditions and will not cause any significant rise in flood level or flow velocity.*
- ▶ *To reflect any declaration under Division 4 of Part 10 of the Water Act, 1989 where a declaration has been made.*
- ▶ *To protect water quality in accordance with the provisions of relevant State Environment Protection Policies, particularly in accordance with Clauses 33 and 35 of the State Environment Protection Policy (Waters of Victoria).*
- ▶ *To ensure that development maintains or improves river and wetland health, waterway protection and flood plain health.”*

Pursuant to Clause 44.04-3 of the Land Subject to Inundation Overlay states a planning permit is required for the subdivision of land. No development will occur on land affected by this overlay.

## **4.5 PARTICULAR PROVISIONS**

### **Clause 52.02 Easements, Restrictions and Reserves**

The purpose of this clause is:

- ▶ *To enable the removal and variation of an easement or restrictions to enable a use or development that complies with the planning scheme after the interests of affected people are considered.*

A permit is required before a person proceeds under Section 23 of the Subdivision Act 1988 to create, vary or remove an easement or restriction.

### **Clause 55 Two or More Dwellings on a Lot**

Clause 55 of the Strathbogie Planning Scheme relates to “Two or more dwellings on a lot”, the purpose of which is:

- ▶ *‘To implement the Municipal Planning Strategy and the Planning Policy Framework.*
- ▶ *To achieve residential development that respects the existing neighbourhood character or which contributes to a preferred neighbourhood character.*
- ▶ *To encourage residential development that provides reasonable standards of amenity for existing and new residents.*
- ▶ *To encourage residential development that is responsive to the site and the neighbourhood.’*

### **Clause 56 Residential Subdivision**

Clause 56 of the Strathbogie Planning Scheme relates to ‘Residential Subdivision’, the purpose of which is:

- ▶ *‘To implement the Municipal Planning Strategy and the Planning Policy Framework.*
- ▶ *To create liveable and sustainable neighbourhoods and urban places with character and identity.*
- ▶ *To achieve residential subdivision outcomes that appropriately respond to the site and its context for:*
  - *Metropolitan Melbourne growth areas.*
  - *Infill sites within established residential areas.*
  - *Regional cities and towns.*
- ▶ *To ensure residential subdivision design appropriately provides for:*
  - *Policy implementation.*
  - *Liveable and sustainable communities.*
  - *Residential lot design.*
  - *Urban landscape.*
  - *Access and mobility management.*
  - *Site management.*
  - *Utilities.’*

A five lot subdivision must meet all the objectives and standards of Clause 56 except Clauses 56.02-1, 56.03-1 to 56.03-4, 56.05-2, 56.06-1, 56.06-3 and 56.06-6.

## 5. MERITS OF THE PROPOSAL

### 5.1 PLANNING POLICY FRAMEWORK

The subject site is considered to be strategically located for increased residential density due to its proximity (within walking distance or 400 metres) to the Nagambie Town Centre, and local services and facilities. This is beneficial as it will contribute to a more walkable and sustainable neighbourhood.

The additional dwellings will contribute to the choice and diversity of housing in Nagambie, as well as positively contributing to the desired neighbourhood and lakeside character. The development is considered appropriate for the area and will not detract from existing amenity in River Street.

The proposal will not result in an increase to the risk to life, property, community infrastructure and the natural environment from bushfire. Located within a Bushfire Prone Area, the risk to bushfire at the site is very low. The site is within an established residential area and the only bushfire threat to the site is from the north from grassland on the former agricultural parcel. This land is expected to be developed for general residential purposes in the near future and is being actively managed in the meantime. In the long term, it is anticipated bushfire threats to the site will be removed.

The proposal will not increase flood risk at the site or for the surrounding area, and the subdivision design considers flood impacts and responds accordingly. The proposal has been designed appropriately with regard to the Lakeside context and associated natural and landscape values. There is no removal of native vegetation or adverse impacts on adjoining public land.

All dwellings will be fully serviced by the necessary physical infrastructure that is readily available to the site.

### 5.2 LOCAL PLANNING POLICY FRAMEWORK

The proposal is for infill residential development which can be appropriately serviced and is well designed within the local context. The development presents high quality, contemporary dwellings which may help to attract “tree changers” to Nagambie, considering its Lakeside positioning and proximity to the Town centre.

The development will utilise neutral, muted tones with some natural look materials to reflect the environmental setting of the site. Please refer to the preliminary plans for further detail.

The proposal will see higher density dwellings around the town centre and in a Lakeside location by providing a high quality development on underutilised land. The proposal allows for improved pedestrian and cyclist movements through Nagambie by creating a new link to the future residential area to the north. The proposal protects the environmental values of the lake and other natural features through appropriate development siting and considered subdivision design.

Development is consistent with preferred neighbourhood character in accordance with the Nagambie Style Guidelines through the use of large setbacks, low or no front fencing and large garden areas which include substantial vegetation. While development will be of somewhat greater scale and density than what is present in the neighbourhood, the site is now appropriate for higher intensity development given the relative proximity of the site to the Town Centre and the rare infill opportunity it presents, considering the growth of Nagambie since the development of the Guidelines.



The site is connected to reticulated water and sewerage systems which achieves a positive outcome in terms of water quality, particularly for Lake Nagambie. The proposal respects the site's relationship with Lake Nagambie through providing dual frontages at Lot 5, large setbacks and open, vegetated site boundaries.

The proposal responds to the flooding and drainage features of the land and will not be adversely impacted by the proposal. All development has been sited outside flood-prone areas and will not impact the health or quality of Lake Nagambie.

Reticulated services are readily available to the site and can be provided to each dwelling.

The proposal uses a new road to provide consolidated access to the lots from River Street and includes adequate parking, both within the properties and within the new road.

### 5.3 ZONE

The development is consistent with the purposes of the General Residential Zone as it is proposed to subdivide and develop each future lot with a dwelling. The site is located within an established residential area in the urbanised area of Nagambie, in proximity to daily local services such as the post office, shops, banks and cafes.

Development respects the character of the area through the contemporary design, appropriate setbacks, landscaping and open fencing. Each dwelling will be fully serviced and connected to the necessary physical infrastructure to the satisfaction of the relevant authorities.

Clause 32.05-4 and Clause 32.05-6 requires an assessment against Clause 55 and 56 of the Strathbogrie Planning Scheme. These proposal meets the requirements of the relevant provisions and the assessment is submitted with this application.

Given the above, it is considered this application meets the purposes and decision guidelines of the General Residential Zone in the Strathbogrie Planning Scheme.

### 5.4 OVERLAYS

#### **Clause 44.03 Floodway Overlay & Clause 44.04 Land Subject to Inundation Overlay**

The subdivision is consistent with the local floodplain development plan and will not increase flood risk at the site, to future development or surrounding land.

The application will not impact upon the health or quality Lake Nagambie and the Goulburn River. The proposal will not impact upon the flood function of the land and drainage will be appropriately designed with regard to the existing land features.

The subdivision does not create any new lots which are entirely within the Floodway Overlay. While the subdivision is not a re-subdivision of existing lots, the number of lots affected by the Floodway Overlay will not increase (Lot 5 will be the only lot affected).

There is no development proposed within the land affected by the Floodway Overlay or Land Subject to Inundation Overlay and there is sufficient land available within the lot to site future extensions and development without encroaching on the flood affected land.

For the reasons outlined above, the application is appropriate within the Floodway Overlay and Land Subject to Inundation Overlay.

## 5.5 PARTICULAR PROVISIONS

### Clause 52.02 Easements, Restrictions and Reserves

The application involves the creation of two easements affecting Lots 2, 3 & 4 for Pipelines or Ancillary Purposes in favour of Goulburn Valley Water.

These easements will not impact upon existing properties in different ownership and future residents will be aware of its existence through its inclusion on title. All dwellings and associated infrastructure can be developed at the site without disruption to these proposed easements.

### Clause 55 Two or More Dwellings on a Lot and Residential Buildings

An assessment against the relevant provisions of Clause 55 has been submitted with this application.

### Clause 56 Residential Subdivision

An assessment against the relevant provisions of Clause 56 has been submitted with this application.

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## 6. CONCLUSION

This Report establishes a sound planning basis for Council to support the proposed “*five-lot subdivision, construction of five dwellings and creation of easements*” at 38-40 River Street, Nagambie.

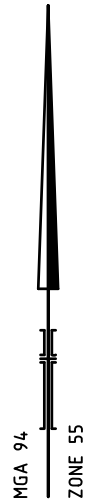
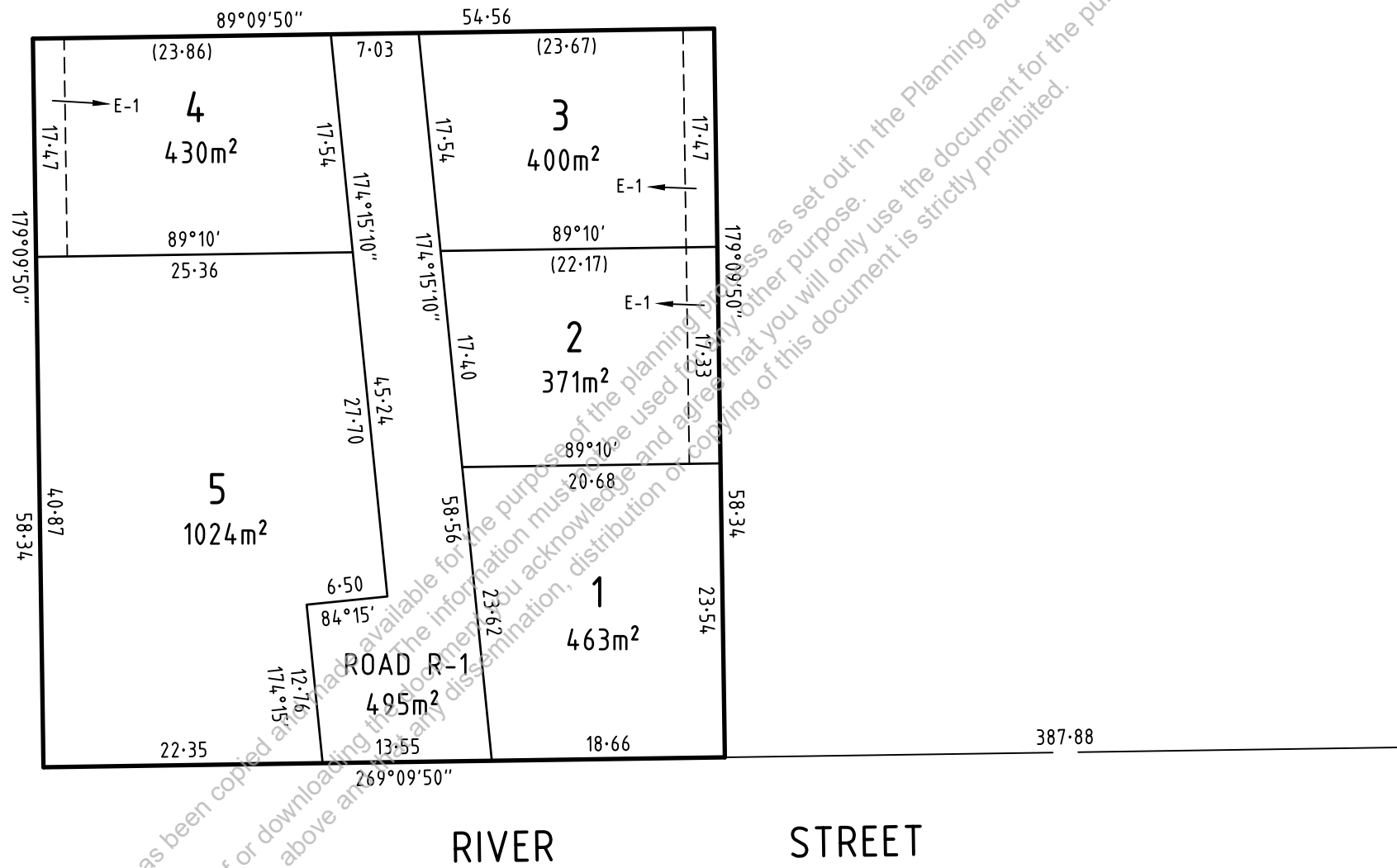
In particular, the proposal should be supported for the following reasons:

- ▶ The proposal appropriately responds to the surrounding context and environmental features, namely Lake Nagambie and adjoining public land.
- ▶ The site is located within an established residential area, in proximity of daily services provided in Nagambie;
- ▶ The proposal is consistent with the relevant planning policy;
- ▶ The proposal is consistent with the General Residential Zone – Schedule 1;
- ▶ The proposal is consistent with the Floodway Overlay and Land Subject to Inundation Overlay;
- ▶ The proposal meets the ResCode requirements of Clause 55 and 56 and will not result in any adverse amenity impacts onto surrounding land owners and occupiers.

For the above reasons, the proposal is commended to Council as one seeking to achieve relevant outcomes as promoted by the Strathbogie Planning Scheme. Accordingly, it is respectfully requested the application be supported by Council.

<b>PLAN OF SUBDIVISION</b>		EDITION 1	<b>PS840859U</b>	
<b>LOCATION OF LAND</b> PARISH: Tabilk TOWNSHIP: Nagambie SECTION: 1 CROWN ALLOTMENT: 8(Part) CROWN PORTION: TITLE REFERENCE: C/T VOL 8806 FOL 636 C/T VOL 8812 FOL 618  LAST PLAN REFERENCE: Lots 1 & 2 LP86248  POSTAL ADDRESS: 38-40 River Street (at time of subdivision) Nagambie 3608  MGA94 CO-ORDINATES: E: 334 880           ZONE: 55 (of approx centre of land in plan) N: 5 928 090				
<b>VESTING OF ROADS AND/OR RESERVES</b>		<b>NOTATIONS</b>		
IDENTIFIER	COUNCIL / BODY / PERSON			
ROAD R-1	Strathbogie Shire Council			
<b>NOTATIONS</b>				
DEPTH LIMITATION : Nil				
<b>SURVEY:</b> This plan is not based on survey  <b>STAGING:</b> This is not a staged subdivision Planning Permit No  This survey has been connected to permanent marks No(s)  In Proclaimed Survey Area No				
<b>EASEMENT INFORMATION</b>				
LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)				
Section 12(2) of the Subdivision Act 1988 applies to all of the land in this plan				
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited / In Favour of
E-1	Pipelines or Ancillary Purposes	2.50	This Plan - Sec 136 Water Act 1989	Goulburn Valley Region Water Corporation
		SURVEYORS FILE REF: 307993SV00  Licensed Surveyor: Michael Meehan Version: 1		ORIGINAL SHEET SIZE: A3  SHEET 1 OF 2

DRAFT



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SURVEYOR'S FILE REF: 307993SV00

SCALE 1: 500  
 5 0 5 10 15 20  
 LENGTHS ARE IN METRES

ORIGINAL SHEET SIZE: A3

SHEET 2



144 Welsford Street  
 PO Box 926  
 Shepparton Vic 3632  
 T 61 3 5849 1000  
 spiire.com.au

Licensed Surveyor: Michael Meehan  
 Version: 1



**PLANNING PROPERTY REPORT**

From www.planning.vic.gov.au at 07 July 2020 04:29 PM

**PROPERTY DETAILS**  
 Address: **40 RIVER STREET NAGAMBIE 3608**  
 Lot and Plan Number: **Lot 1 LP86248**  
 Standard Parcel Identifier (SPI): **1LP86248**  
 Local Government Area (Council): **STRATHBOGIE** [www.strathbogievic.gov.au](http://www.strathbogievic.gov.au)  
 Council Property Number: **4000790.1700**  
 Planning Scheme: **Strathbogie** [www.planning.vic.gov.au/planning-schemes-strathbogievic](http://www.planning.vic.gov.au/planning-schemes-strathbogievic)  
 Directory Reference: **Vicroads 678 02**

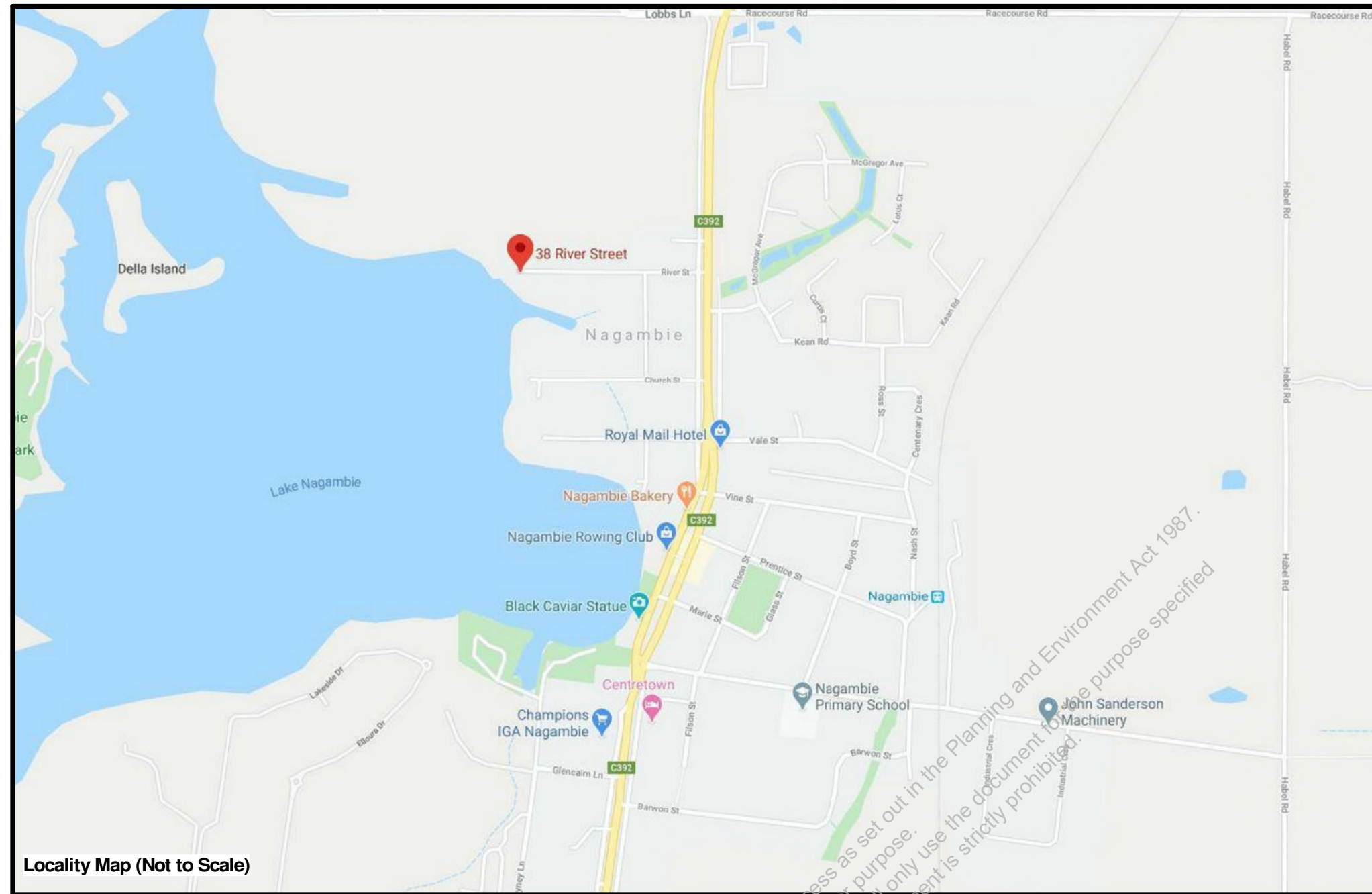
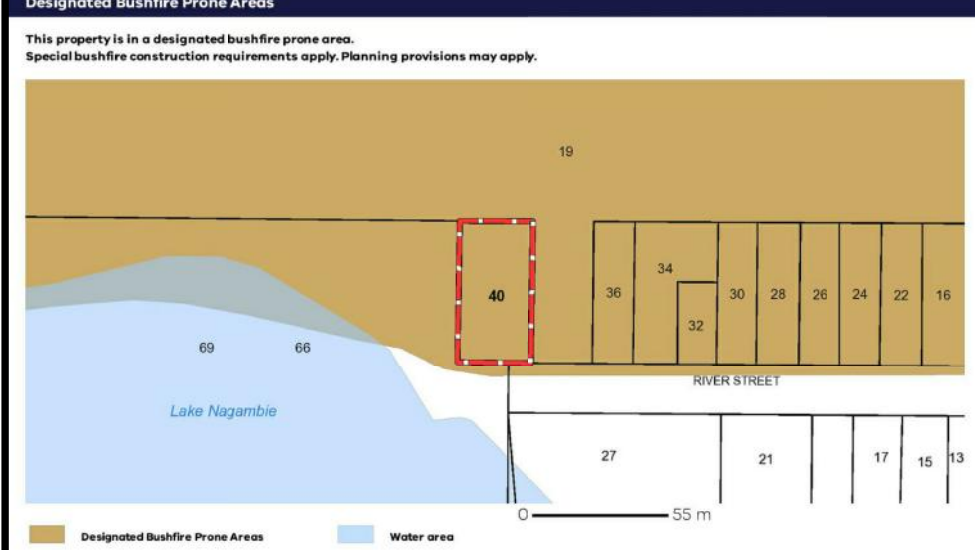
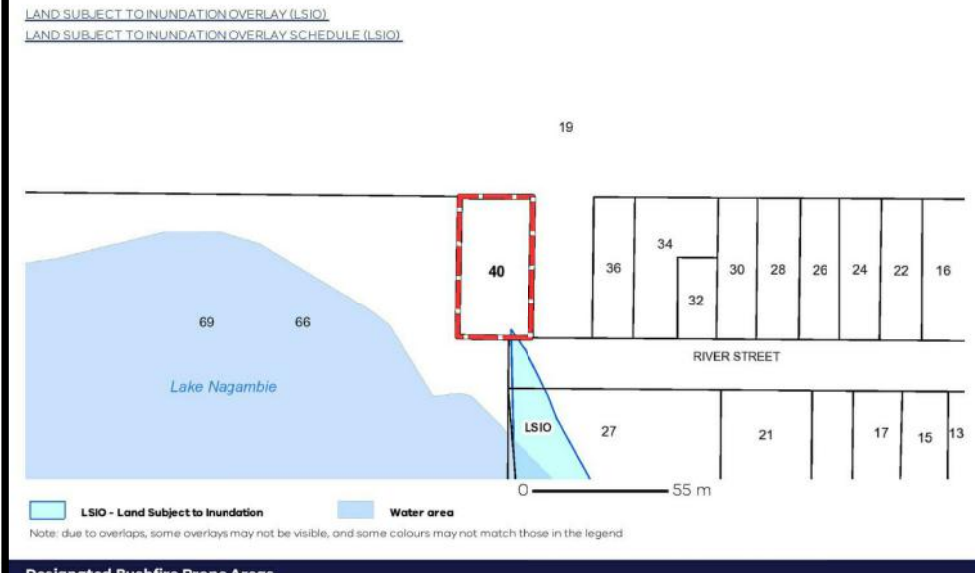
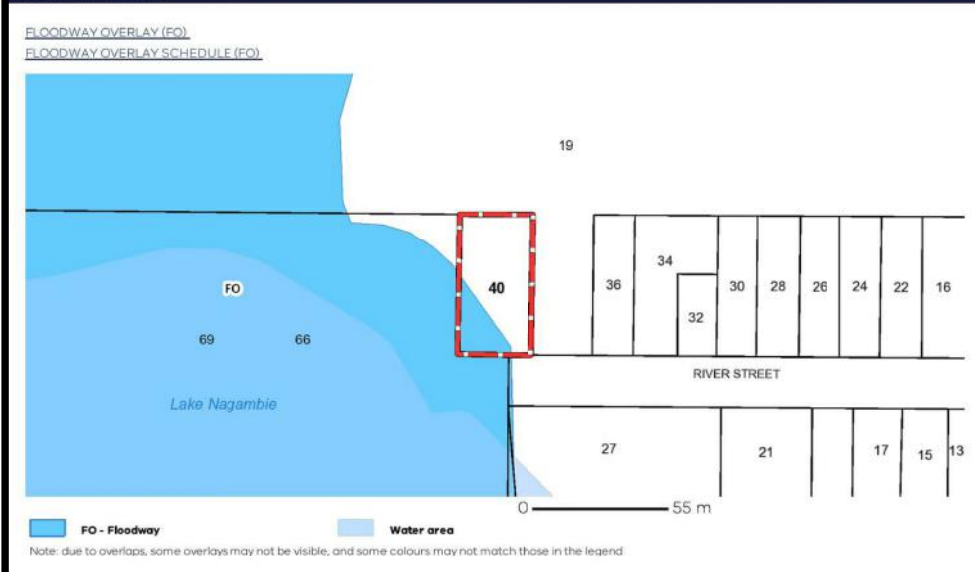
**UTILITIES**  
 Rural Water Corporation: **Goulburn-Murray Water**  
 Urban Water Corporation: **Goulburn Valley Water**  
 Melbourne Water: **Outside drainage boundary**  
 Power Distributor: **AUSNET** [www.ausnet.com.au](http://www.ausnet.com.au)

**STATE ELECTORATES**  
 Legislative Council: **NORTHERN VICTORIA**  
 Legislative Assembly: **EUROA**



**PLANNING PROPERTY REPORT**

Environment, Land, Water and Planning



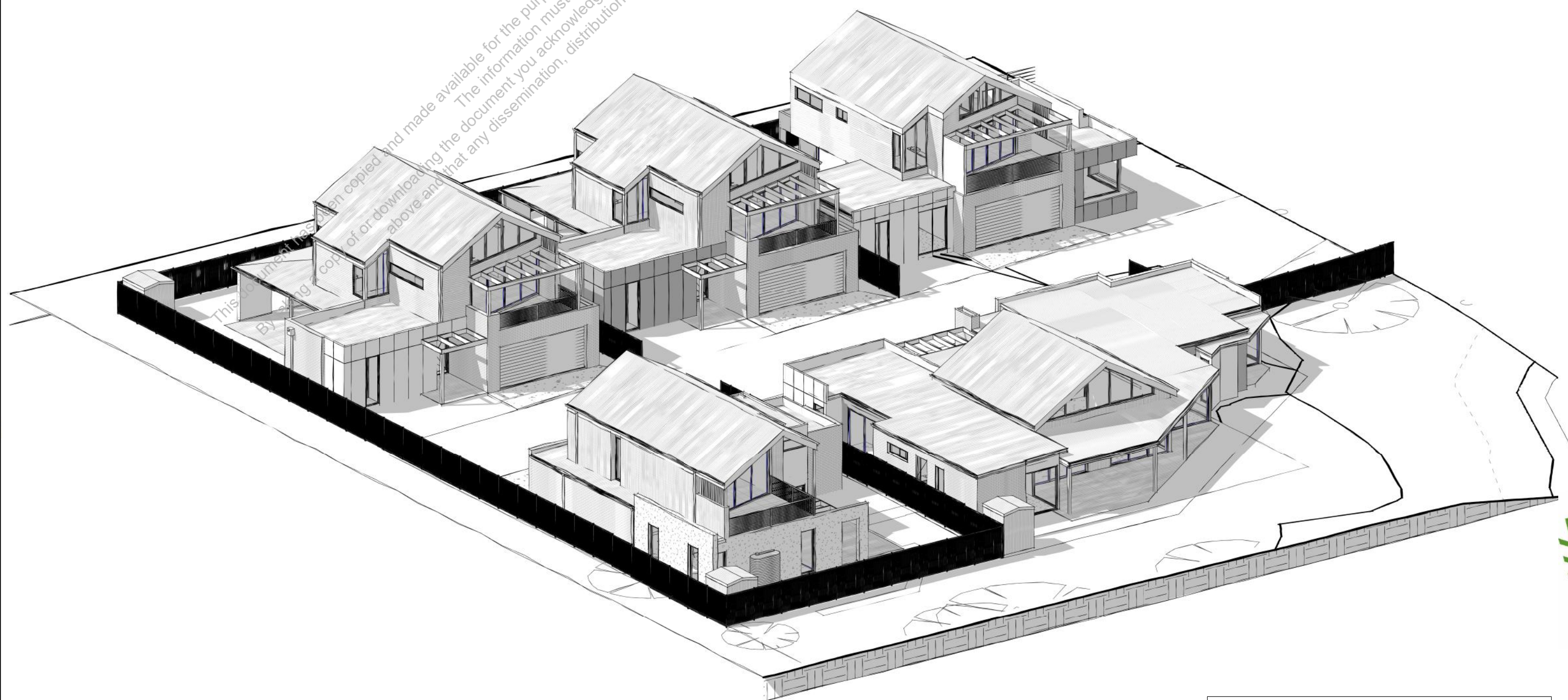
**Sheet List**

Sheet Number	Sheet Name	Current Revision	Current Revision Date	Sheet Issue Date
TP00	Cover Sheet			03/08/2020
TP01	Photographic Study			03/08/2020
TP02	Existing Site Conditions			03/08/2020
TP03	Existing Floor Plan & Elevations			03/08/2020
TP04	Demolition Site Plan			03/08/2020
TP05	Overall - Proposed Site Plan			03/08/2020
TP06	Lot 1 - Proposed Floor Plan & Elevations			03/08/2020
TP07	Lot 2 - Proposed Floor Plan & Elevations			03/08/2020
TP08	Lot 3 - Proposed Floor Plan & Elevations			03/08/2020
TP09	Lot 4 - Proposed Floor Plan & Elevations			03/08/2020
TP10	Lot 5 - Proposed Floor Plan & Elevations			03/08/2020
TP11	Proposed Shadow Diagrams			03/08/2020
TP12	Sectional Heights			03/08/2020
TP13	Proposed Plan of Sub-Division & Overlooking			03/08/2020
TP14	Proposed Landscape Plan			03/08/2020
TP15	Proposed Perspectives			03/08/2020
TP16	Proposed Perspectives			03/08/2020

# Nagambie Development Enterprises

## 38-40 River Street, Nagambie

Project: 20-20  
03/08/2020



vision thru design



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 E: admin@cba.net.au  
 A: 199 McCrae Street  
 Bendigo, 3550

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TP00





**Photograph 1**  
South East perspective of the existing 2 Bedroom Brick veneer residence. Existing residence and surrounding sub structures are to be fully demolished as part of the proposed works. Demolish in strict accordance with all relevant standards and regulations. Remove vegetation shown to the front of the existing residence. Prepare site for all proposed works



**Photograph 2**  
North East perspective of the existing 2 Bedroom Brick veneer residence. Existing residence and surrounding sub structures are to be fully demolished as part of the proposed works. Demolish in strict accordance with all relevant standards and regulations. Prepare site for all proposed works



**Photograph 3**  
Eastern perspective of the existing external brick toilet block & rear storage shed/studio. Existing brick toilet block & rear storage shed/studio are to be fully demolished as part of the proposed works. Demolish in strict accordance with all relevant standards and regulations. Prepare site for all proposed works



**Photograph 4**  
South West perspective of the existing rear storage shed/studio. Existing rear storage shed & surrounding vegetation are to be fully demolished & removed as part of the proposed works. Demolish in strict accordance with all relevant standards and regulations. Prepare site for all proposed works



**Photograph 5**  
North West perspective of the existing 2 Bedroom Brick veneer residence. Existing residence and surrounding sub structures are to be fully demolished as part of the proposed works. Demolish in strict accordance with all relevant standards and regulations. Prepare site for all proposed works



**Photograph 6**  
South West perspective of the existing 2 Bedroom Brick veneer residence. Existing residence and surrounding sub structures are to be fully demolished as part of the proposed works. Demolish in strict accordance with all relevant standards and regulations. Prepare site for all proposed works



**Photograph 7**  
South East perspective of the existing 2 Bedroom Brick veneer residence and carport. Existing residence and surrounding sub structures are to be fully demolished as part of the proposed works. Demolish in strict accordance with all relevant standards and regulations. Remove vegetation shown to the front of the existing residence. Prepare site for all proposed works



**Photograph 8**  
North East perspective of the existing 2 Bedroom Brick veneer residence & brick toilet block. Existing residence and surrounding sub structures are to be fully demolished as part of the proposed works. Demolish in strict accordance with all relevant standards and regulations. Prepare site for all proposed works



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Photographic Study  
Scale @ A2 -  
Town Planning Drawings

Revision Number	Revision Description	Revision Date

Elberton Farming PTY LTD  
Trading as  
CBA Building Designers  
RBP No. CDP-AD57101  
**Design Matters** Member  
Enable, advocate and celebrate  
good building design

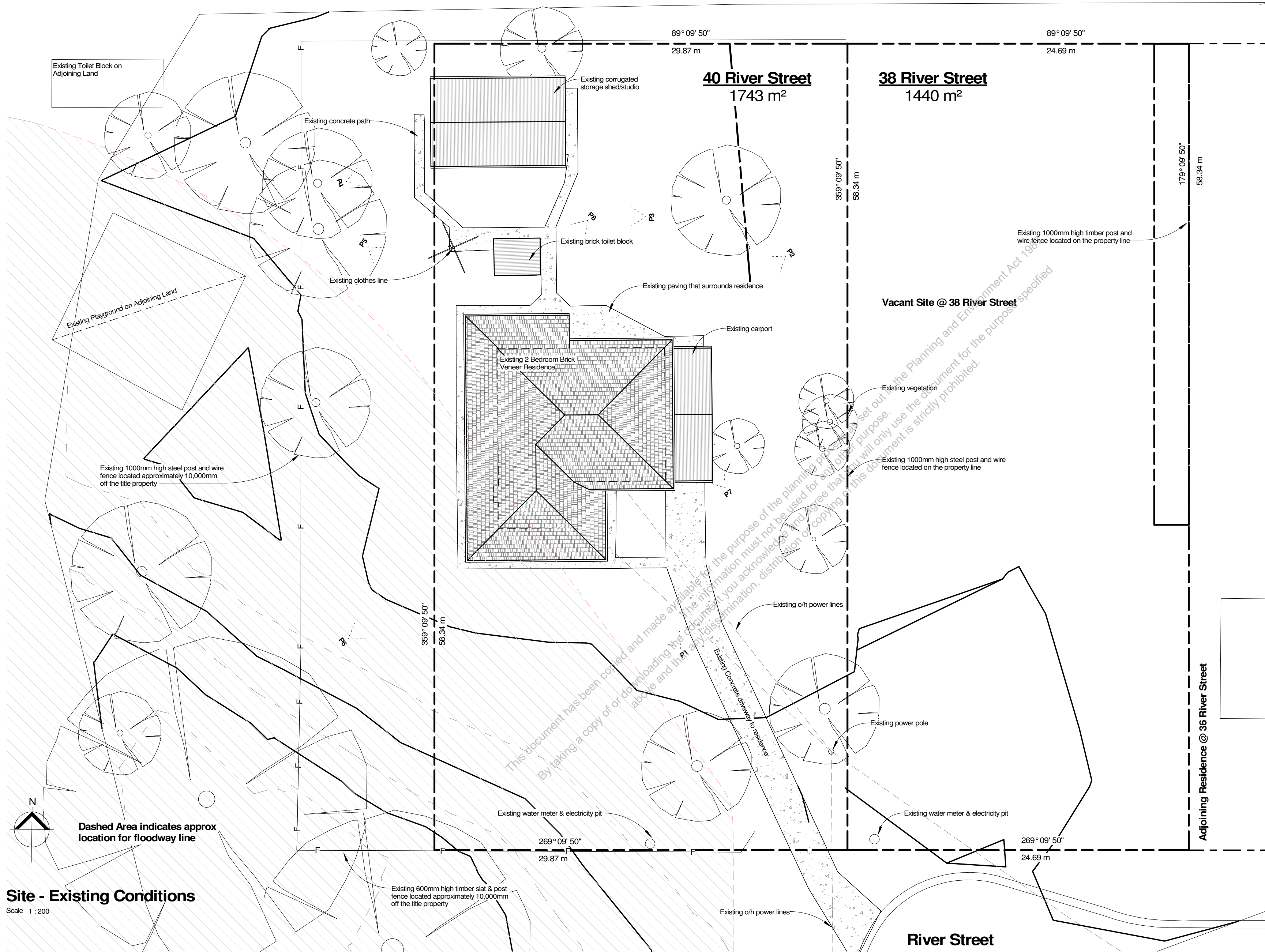
Client: Nagambie Development Enterprises  
Site: 38-40 River Street, Nagambie  
Drawn:HM

Date:3/08/2020 3:28:32 PM

Project:  
20-20

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PO Box 895  
Bendigo, VIC, 3552  
Sheet No. TP01





**Site - Existing Conditions**  
 Scale 1 : 200

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Existing Site Conditions  
 Scale @ A2 - 1 : 200  
 Town Planning Drawings

Revision Number	Revision Description	Revision Date

Elberton Farming PTY LTD  
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 RBP No. CDP-AD57101  

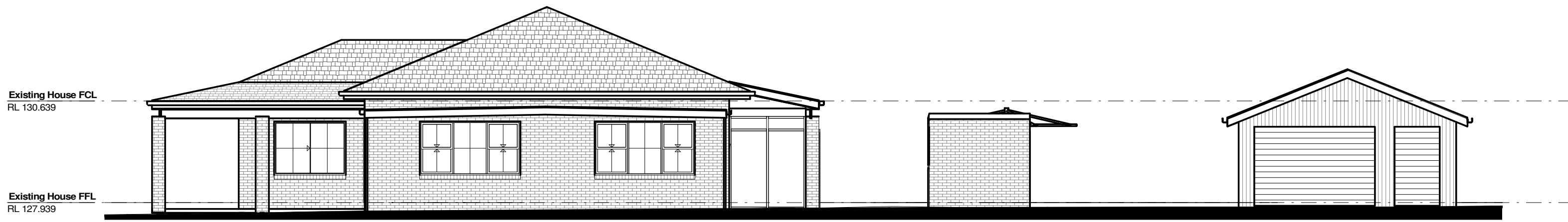
 Enable, advocate and celebrate good building design

Client: Nagambie Development Enterprises  
 Site: 38-40 River Street, Nagambie  
 Drawn: HM  
 Date: 3/08/2020 3:28:33 PM

Project:  
 20-20  
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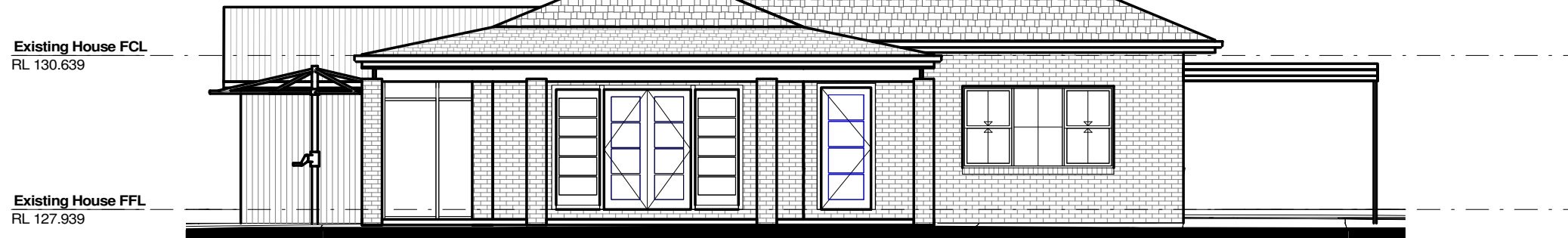


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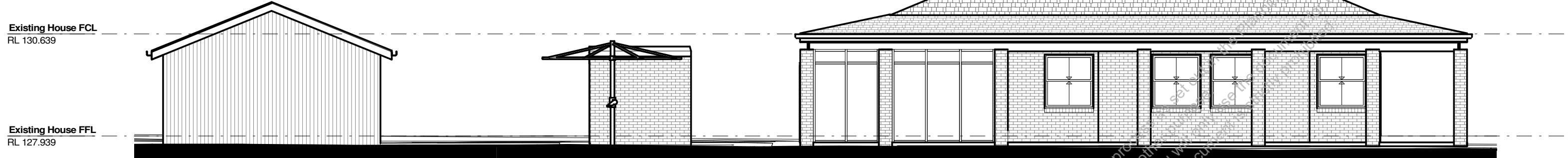
**Existing East Elevation**

Scale 1 : 100



**Existing South Elevation**

Scale 1 : 100



**Existing West Elevation**

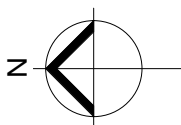
Scale 1 : 100



**Existing North Elevation**

Scale 1 : 100

Areas		
Name	Area	Squares
Existing Residence	135.98 m <sup>2</sup>	14.64
Existing Porch	52.37 m <sup>2</sup>	5.64
Existing Toilet Block	8.95 m <sup>2</sup>	0.96
Existing Shed/Studio	52.76 m <sup>2</sup>	5.68

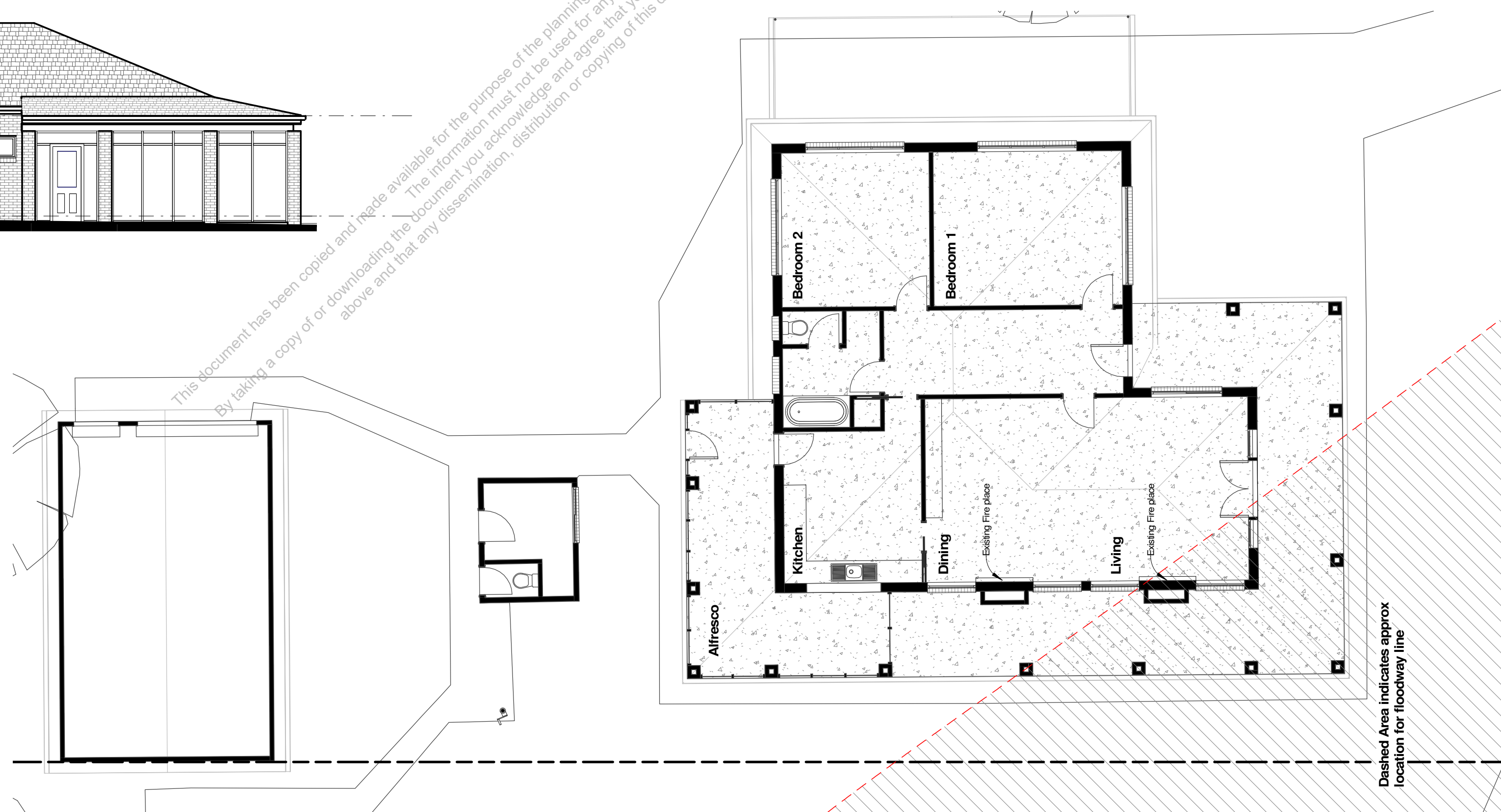


**Existing House FFL**

Scale 1 : 100

Existing Floor Plan & Elevations  
**Town Planning Drawings**

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Dashed Area indicates approx location for floodway line



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**building designers**

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Revision Number	Revision Description	Revision Date

Client: Nagambie Development Enterprises  
 Site: 38-40 River Street, Nagambie  
 Date: 3/08/2020 3:28:34 PM  
 Drawn: HM

Job No.: 20-20  
 Sheet No. TP03



**Demolition Notes - Residential**

All materials and work practices shall comply with, but not limited to, the Building Regulations 2018, the National Construction Code Series 2016 Building Code of Australia Vol 2 and all relevant current Australian standards (as amended) referred to therein. These specifications specify only the minimum standard of work for the demolition works on residential projects, and all workmanship and precautions shall be to best trade practice.

Precautions must be taken before and during demolition in accordance with AS 2601-2001: The Demolition of Structures.

During the progress of the demolition the works shall be under the continuous supervision of the Demolisher or of an experienced foreman, and demolition shall be executed storey by storey commencing at the roof and working downwards.

The demolition must not be commenced until the precautionary measures have been inspected and approved by the Relevant Building Surveyor.

The Demolisher shall construct a temporary crossing placed over the footpath, as required by the Council.

No part of any external wall on or within 3.00m of a street alignment may be pulled down, except during the hours that the Relevant Building Surveyor directs.

Protective outriggers, fences, awnings, hoarding, barricades and the like must be installed where necessary to guard against danger to life or property or when required by the Relevant Building Surveyor.

Dust creating material, unless thoroughly dampened down, shall not be thrown or dropped from the building but shall be lowered by hoisting apparatus or removed by material chutes. All chutes shall be completely enclosed and a danger sign shall be at the discharge end of every chute.

All practicable precautions shall be taken to avoid danger from collapse of a building when any part of a framed or partly framed building is removed.

Demolished material shall not be allowed to remain on any floor or structure if the weight of the material exceeds the safe carrying capacity of the floor or structure, and such material shall not be so piled or stacked that it will endanger workmen or other persons, and shall be removed as soon as practicable from the site.

No wall, chimney or other structure or part of a structure shall be left unattended or unsupported in such a condition that it may collapse due to wind or vibration or otherwise become dangerous.

Before demolition is commenced, and also during the progress of such works, all electrical cable or apparatus which are liable to be a source of danger - other than cable or apparatus used for the demolition works - shall be disconnected.

Arrangements shall be made with the Relevant Electrical Supply Authority for the disconnection of electrical mains supply except that, where partial demolition is proposed, the licensed Electrical Contractor shall satisfy the Relevant Electrical Supply Authority that the portion of the building to be demolished has been isolated.

The Demolisher shall be responsible for the disconnection of all telecommunication supplies.

The Demolisher shall be responsible to cut and seal any storm water, sewer pipes, water services, gas services and the like.

The position of capped sewer and storm water drains, sealed-off water supply lines, gas supply lines and the like are to be clearly marked on the site.

Any septic tank(s) on the demolition site shall be emptied and filled with clean sand, or removed entirely, and any soak wells, leach drains or similar apparatus shall be removed or filled with clean sand.

Any swimming pools, ponds or the like either on the demolition site or on the neighbouring allotments where affected by the demolition works shall be adequately fenced and made safe, so as to comply with 'AS 1926 Swimming Pool Safety' Parts 1 & 2 prior to commencement of any demolition works. Materials removed or displaced from the building shall not be placed in any street, road or right of way and, before commencing, where required, shall be kept sprayed with water so as to prevent any nuisance from dust.

Materials removed or displaced from the building being demolished or materials left standing shall not be burned on the demolition site.

Removal of buildings by road must be approved by Relevant Councils Traffic Engineer.

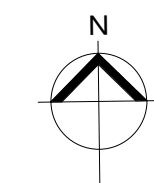
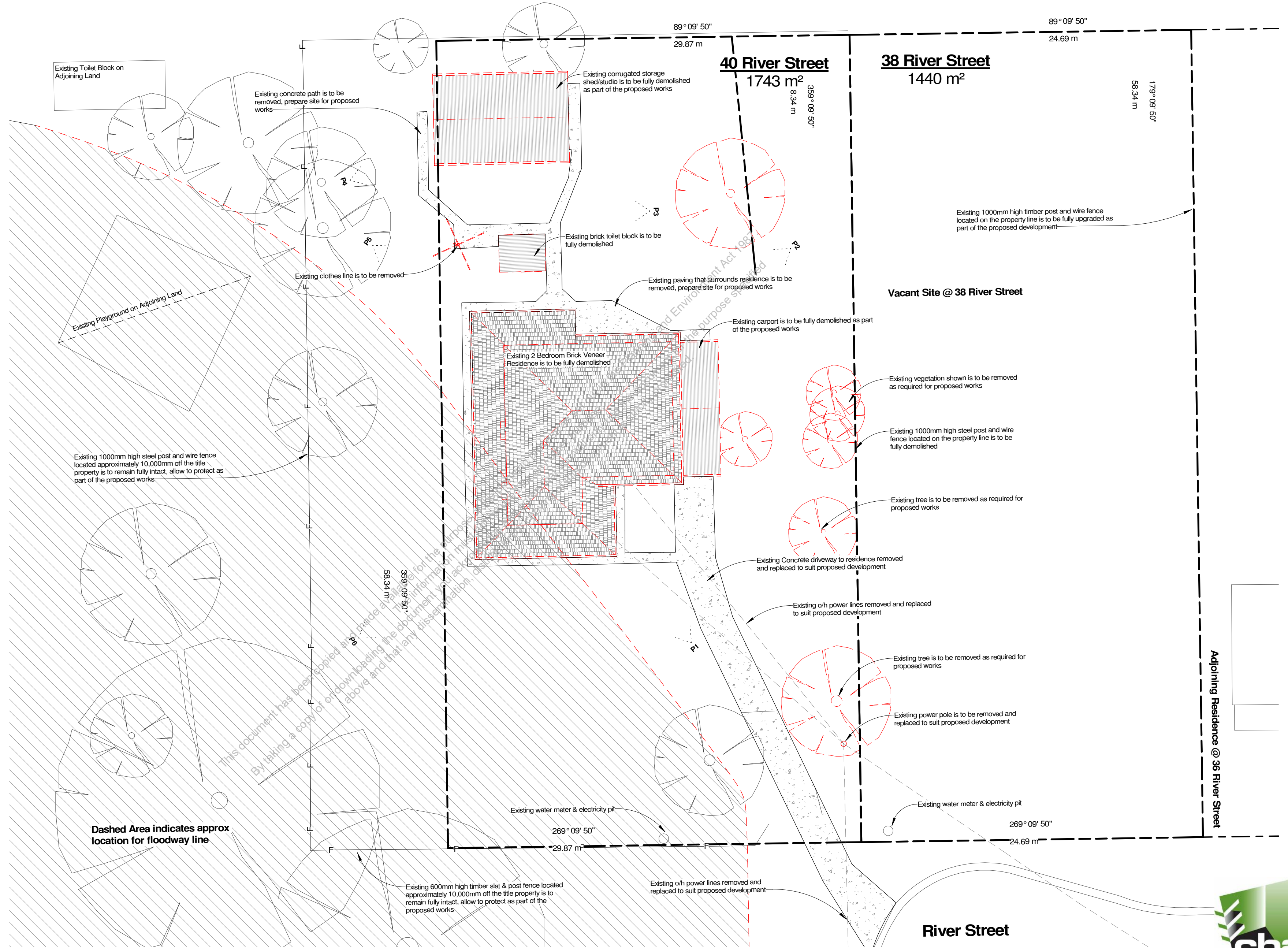
A site management plan is to be implemented during demolition works to control sediment run-off in accordance with EPA Victoria publication #275: Construction Techniques for Sediment Pollution Control. Provide 'propex' or equivalent silt fences to the low side of the allotment and around all soil stockpiles and storm water inlet pits/sumps and install 'silt stop' filter bags over all storm water entry pits during demolition works. 'Supergro' or equivalent erosion control fabric to be placed over garden beds to prevent surface erosion during revegetation period.

It is the builder's responsibility to carry out an audit prior to the commencement of any works to determine if asbestos is present in the existing works. Where any asbestos product is found in the proposed works area during initial inspection or during the course of the demolition works the builder shall engage an authorised and registered contractor for safe removal and lawful disposal.

A building Permit is required prior to the commencement of these works. The release of these documents is conditional to the Owner obtaining the required Building Permit.

**TOWN PLANNING ONLY**  
**NOT TO BE USED FOR CONSTRUCTION**

Dashed Area indicates approx location for floodway line



**Site - Existing/Demolition Site Plan**

Scale 1:200

Demolition Site Plan  
Scale @ A2 - 1:200  
Town Planning Drawings

Revision Number	Revision Description	Revision Date

Elberton Farming PTY LTD  
Trading as  
CBA Building Designers  
RBP No. CDP-AD57101

**Design Matters** Member  
Enable, advocate and celebrate  
good building design

Client: Nagambie Development Enterprises

Site: 38-40 River Street, Nagambie

Drawn:HM

Date:3/08/2020 3:28:35 PM

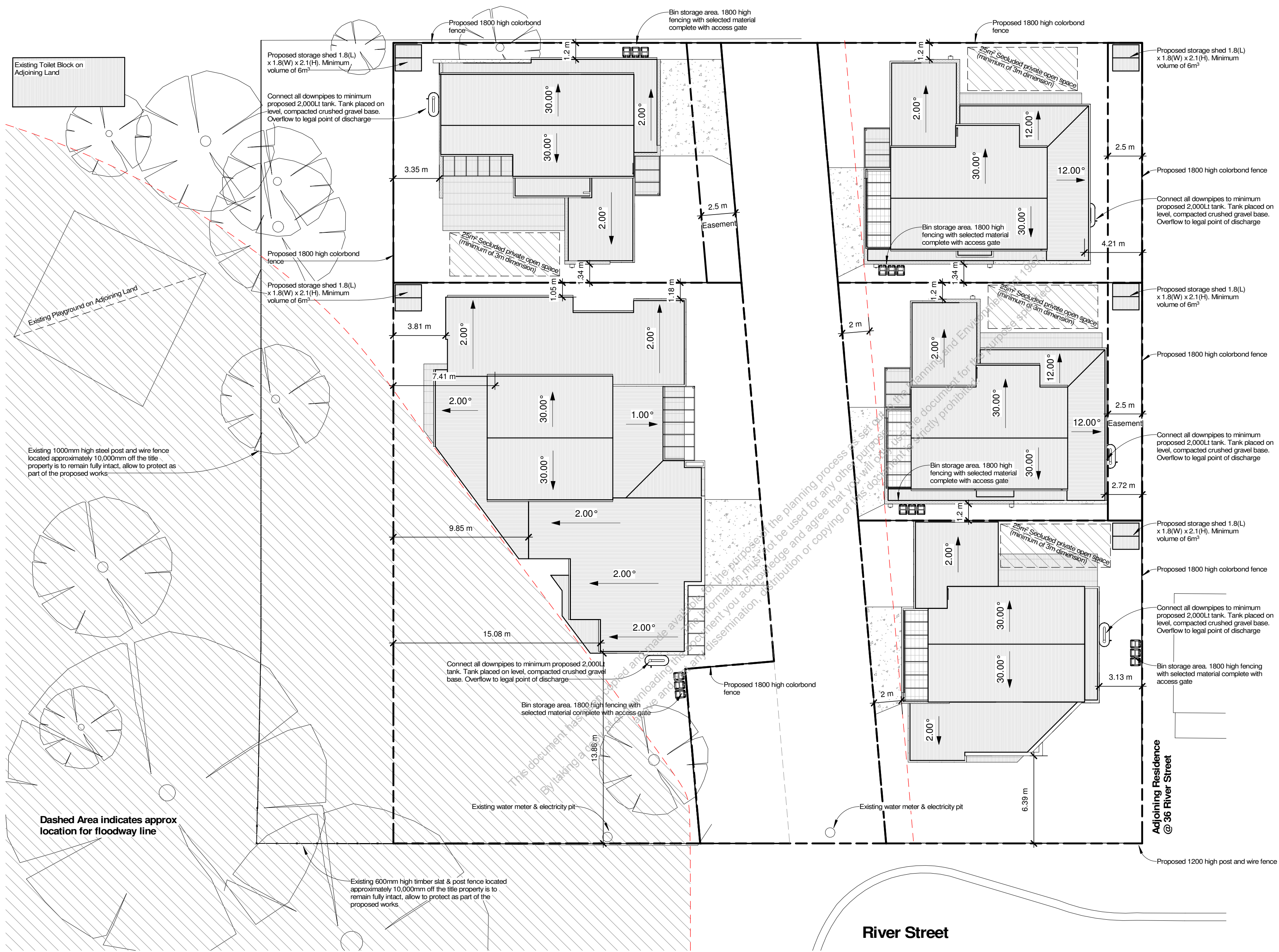
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Sheet No. **TP04**







Lot 1			
Areas	462.952m²	100.00%	Required
Site:	199.087m²	43.00%	60.00%
Coverage:	227.594m²	49.16%	20.00%
Permeability:	80.00m²	%	80.00m²
SPOS/POS:	251.592m²	54.35%	25.00%
GAR:			

Lot 2			
Areas	371.316m²	100.00%	Required
Site:	197.200m²	53.11%	60.00%
Coverage:	139.777m²	37.64%	20.00%
Permeability:	80.00m²	%	80.00m²
SPOS/POS:	160.169m²	43.14%	25.00%
GAR:			

Lot 3			
Areas	400.436m²	100.00%	Required
Site:	199.869m²	49.91%	60.00%
Coverage:	170.266m²	42.52%	20.00%
Permeability:	80.00m²	%	80.00m²
SPOS/POS:	189.030m²	47.21%	25.00%
GAR:			

Lot 4			
Areas	430.055m²	100.00%	Required
Site:	169.840m²	39.49%	60.00%
Coverage:	182.931m²	42.54%	20.00%
Permeability:	80.00m²	%	80.00m²
SPOS/POS:	230.588m²	53.62%	25.00%
GAR:			

Lot 5			
Areas	1023.653m²	100.00%	Required
Site:	381.555m²	37.27%	60.00%
Coverage:	600.970m²	58.70%	20.00%
Permeability:	80.00m²	%	80.00m²
SPOS/POS:	619.833m²	60.55%	25.00%
GAR:			

**Site - Proposed Site Plan**

Scale 1:200

Overall - Proposed Site Plan

Scale @ A2 - As indicated

Town Planning Drawings

Revision Number	Revision Description	Revision Date

Elberton Farming PTY LTD  
Trading as  
CBA Building Designers  
RBP No. CDP-AD57101



Client: Nagambie Development Enterprises

Site: 38-40 River Street, Nagambie

Drawn:HM

Date:3/08/2020 3:28:37 PM

Project:

20-20

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Sheet No. TP05

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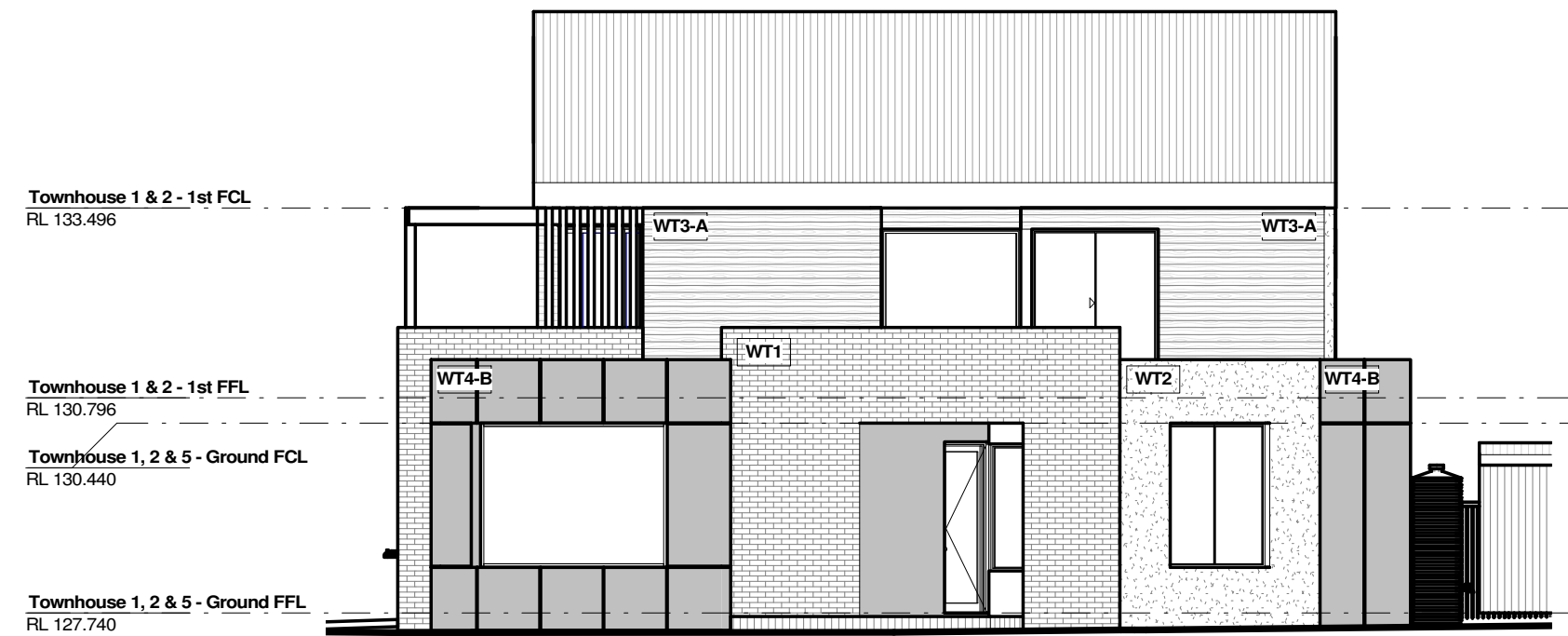
**Lot 1 - Proposed East Elevation**

Scale 1 : 100



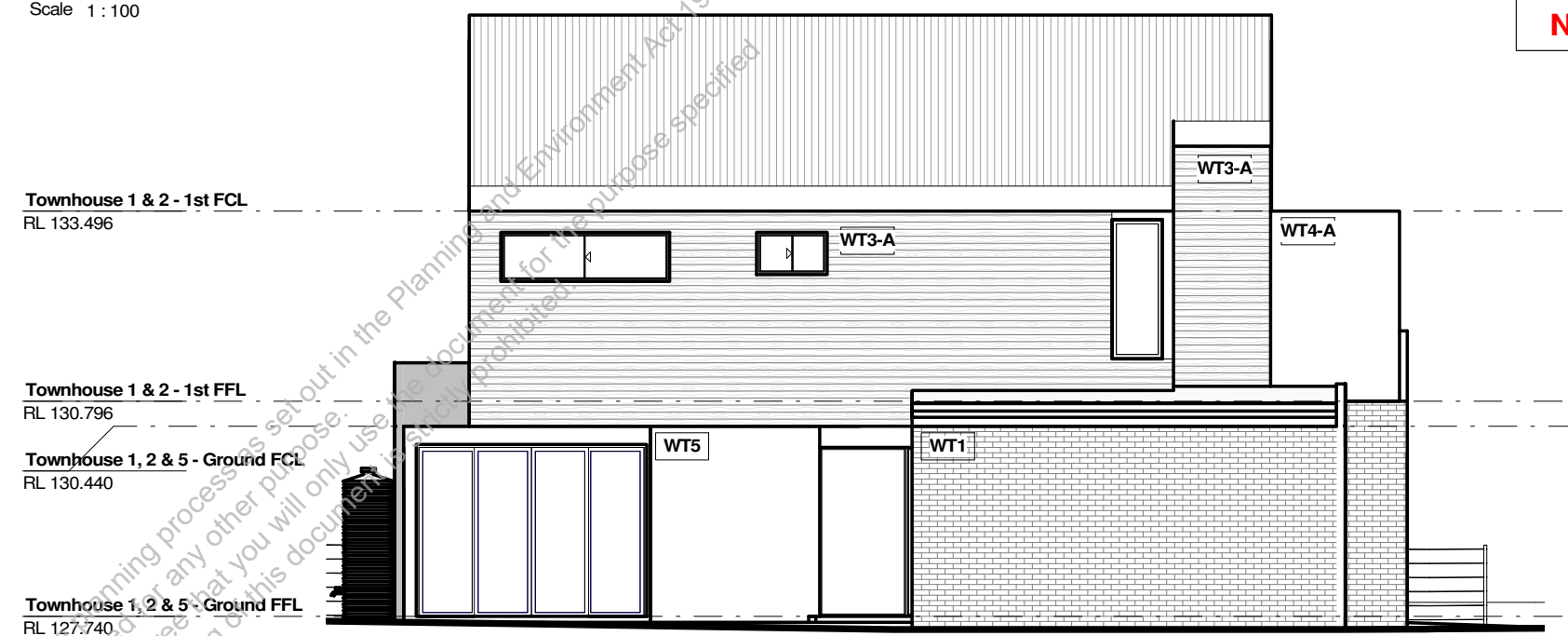
**Lot 1 - Proposed West Elevation**

Scale 1 : 100



**Lot 1 - Proposed South Elevation**

Scale 1 : 100



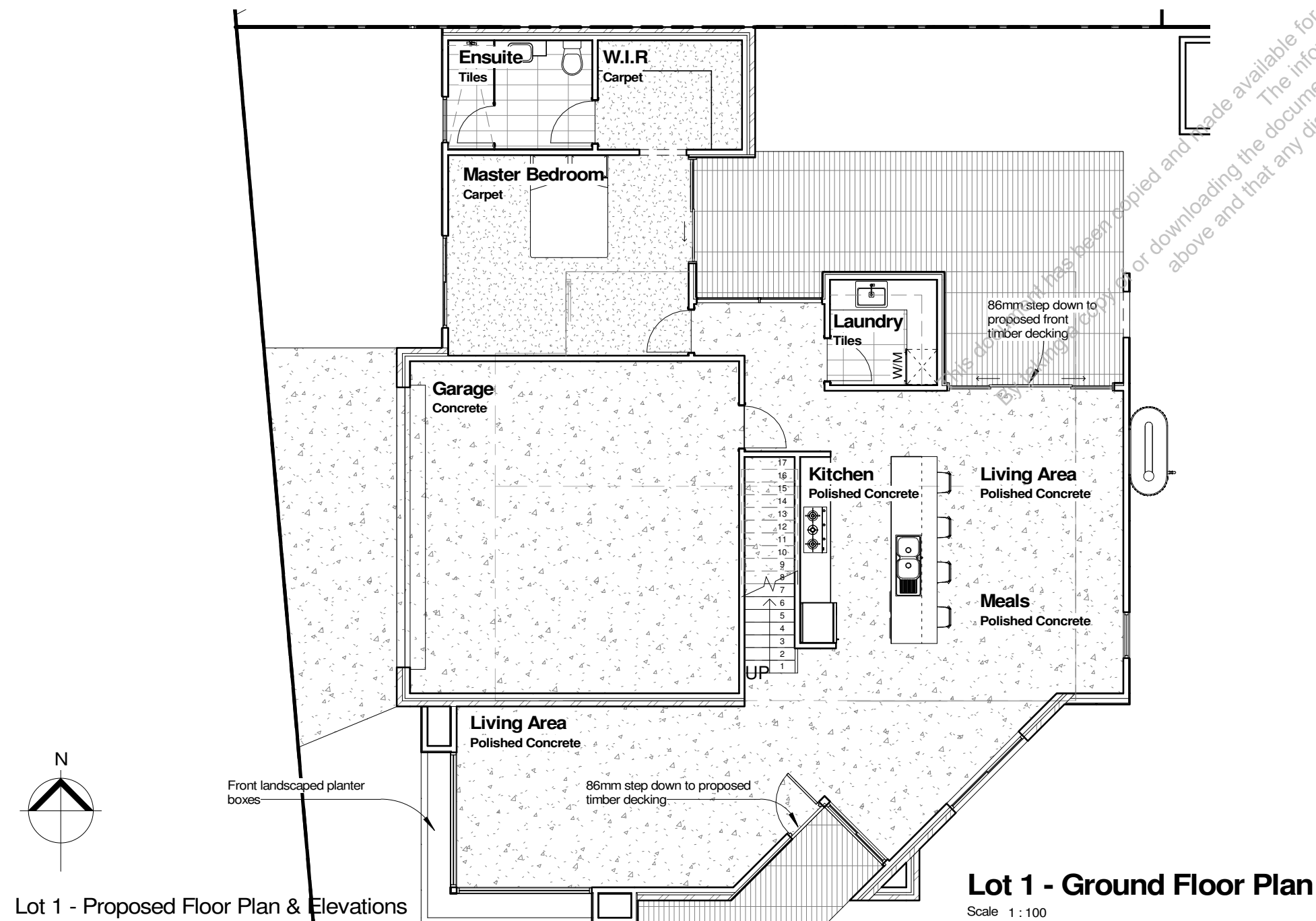
**Lot 1 - Proposed North Elevation**

Scale 1 : 100

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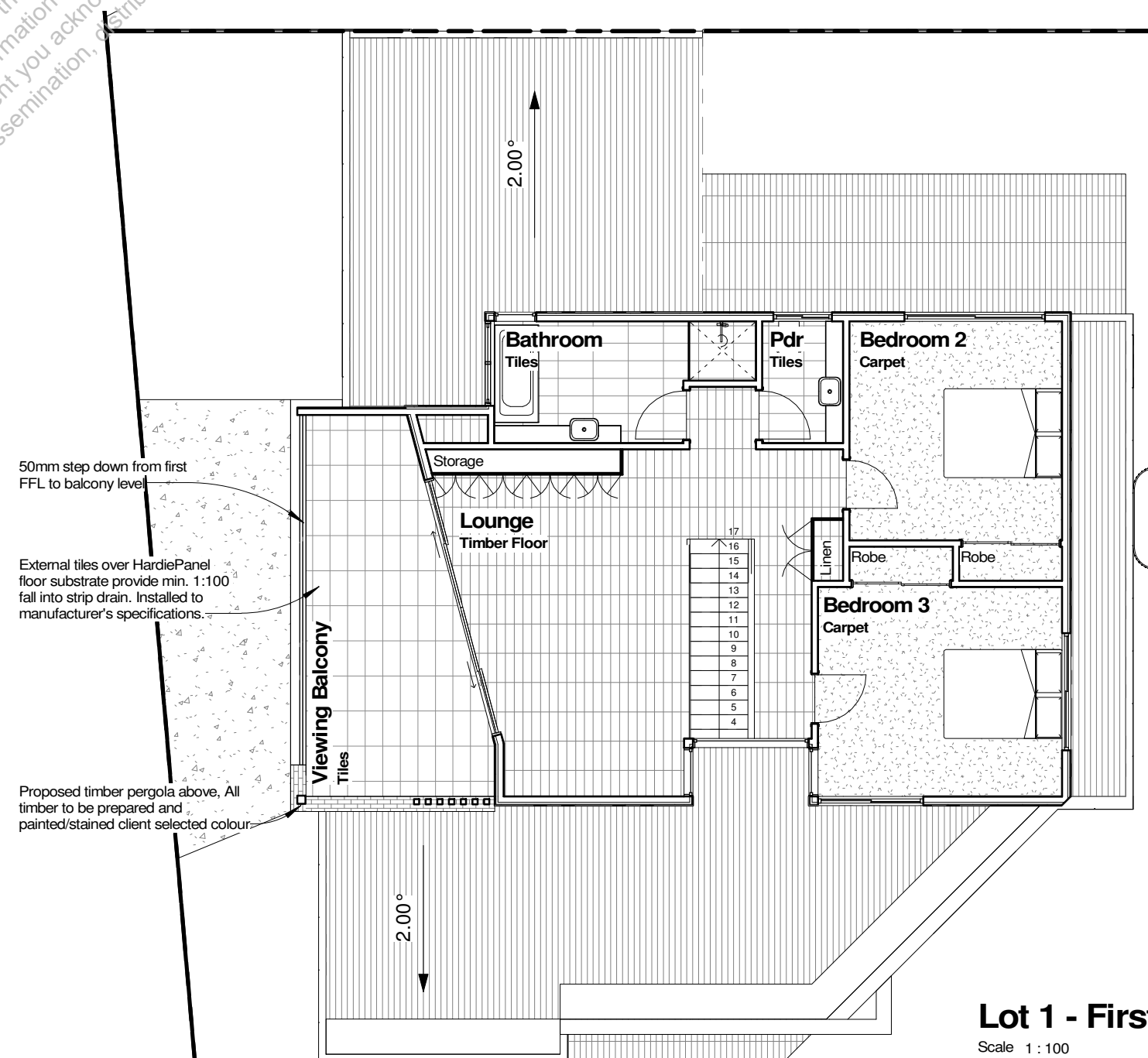
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building designers  
Elberton Farming PTY LTD  
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PO Box 895  
Bendigo, VIC, 3552

**Design Matters** Member



**Lot 1 - Ground Floor Plan**

Scale 1 : 100



**Lot 1 - First Floor Plan**

Scale 1 : 100

**Materials Legend**

- WT1 Client selected stackbond brickwork shown. (white or similar colour with selected dark grout)
- WT2 Client selected brickwork with selected light grey render.
- Corrugated profile Monument roof sheeting colour Colorbond (or similar)
- Monument colour (or similar) to all exposed steelwork, window frames & fascias
- WT3 Selected vertical & horizontal timber look cladding with client selected finish
- WT4-A Selected Monument/Night Sky - 9mm thick James hardie ExoTec Cladding or similar product
- WT4-B Selected Shale Grey/Windspray - 9mm thick James hardie ExoTec Cladding or similar product
- Concrete to driveway & retaining walls.

**Lot 1**

Areas	462.952m <sup>2</sup>	100.00%	Required
Site:	199.087m <sup>2</sup>	43.00%	60.00%
Coverage:	227.584m <sup>2</sup>	49.16%	20.00%
Permeability:	80.00m <sup>2</sup>	%	80.00m <sup>2</sup>
SPOS/POS:	251.592m <sup>2</sup>	54.35%	25.00%
GAR:			

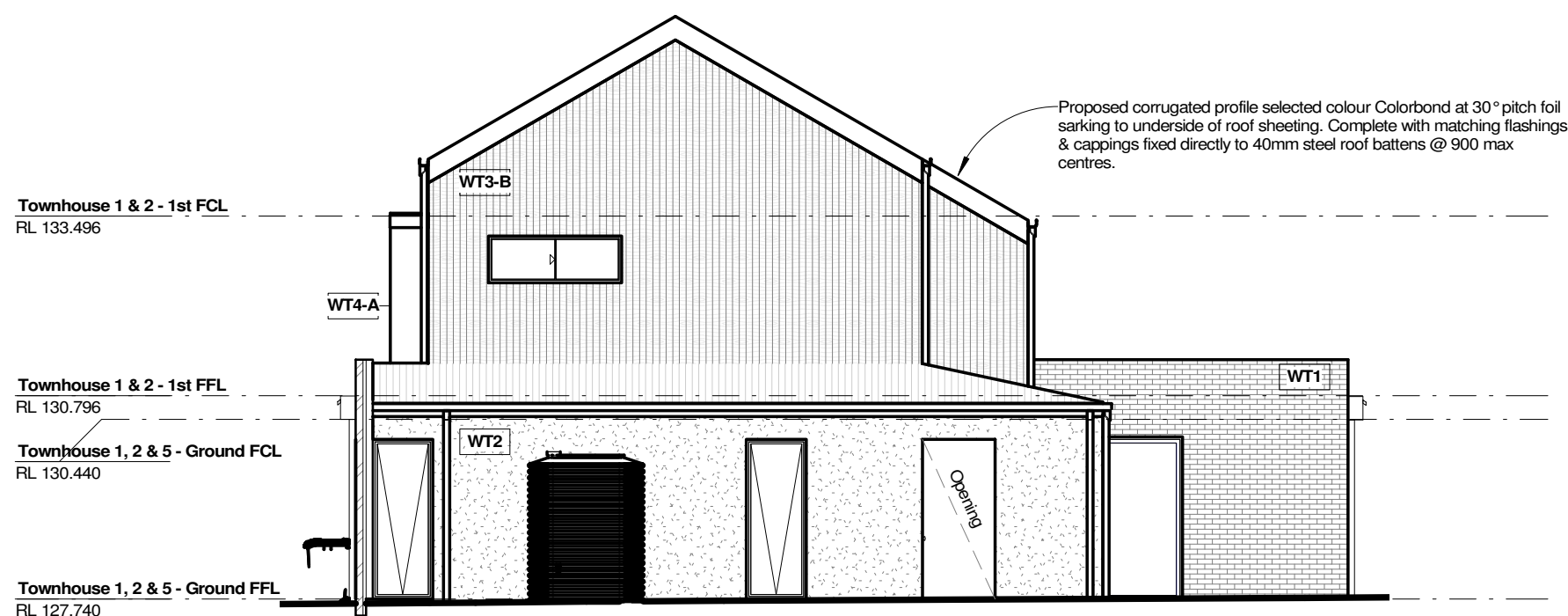
**Lot 1 - Area Schedule**

Name	Area	Squares
Lot 1 - Garage	47.21 m <sup>2</sup>	5.08
Lot 1 - Ground Floor	132.29 m <sup>2</sup>	14.24
Lot 1 - Rear Decking	29.30 m <sup>2</sup>	3.15
Lot 1 - Front Porch	4.74 m <sup>2</sup>	0.51
Lot 1 - First Floor	85.79 m <sup>2</sup>	9.23
Lot 1 - Viewing Deck	19.66 m <sup>2</sup>	2.12

Revision Number	Revision Description	Revision Date

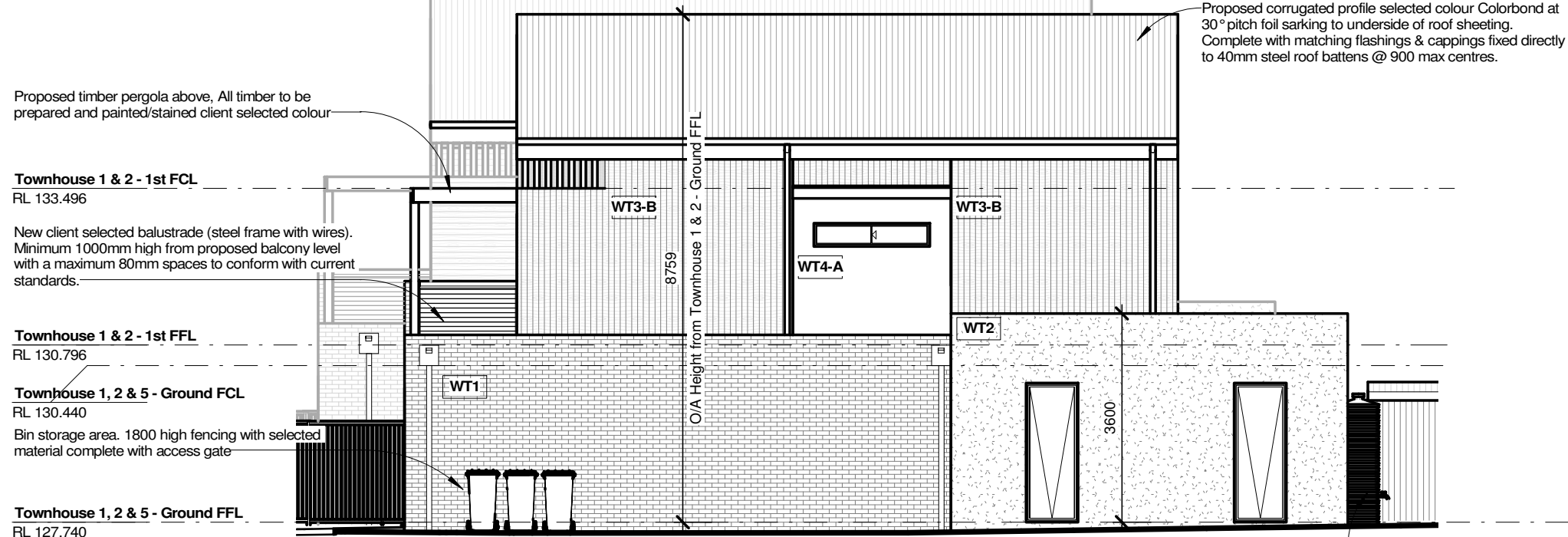
Client: Nagambie Development Enterprises  
Site: 38-40 River Street, Nagambie  
Date: 3/08/2020 3:28:41 PM  
Job No.: 20-20  
Sheet No.: TP06  
Drawn: HM





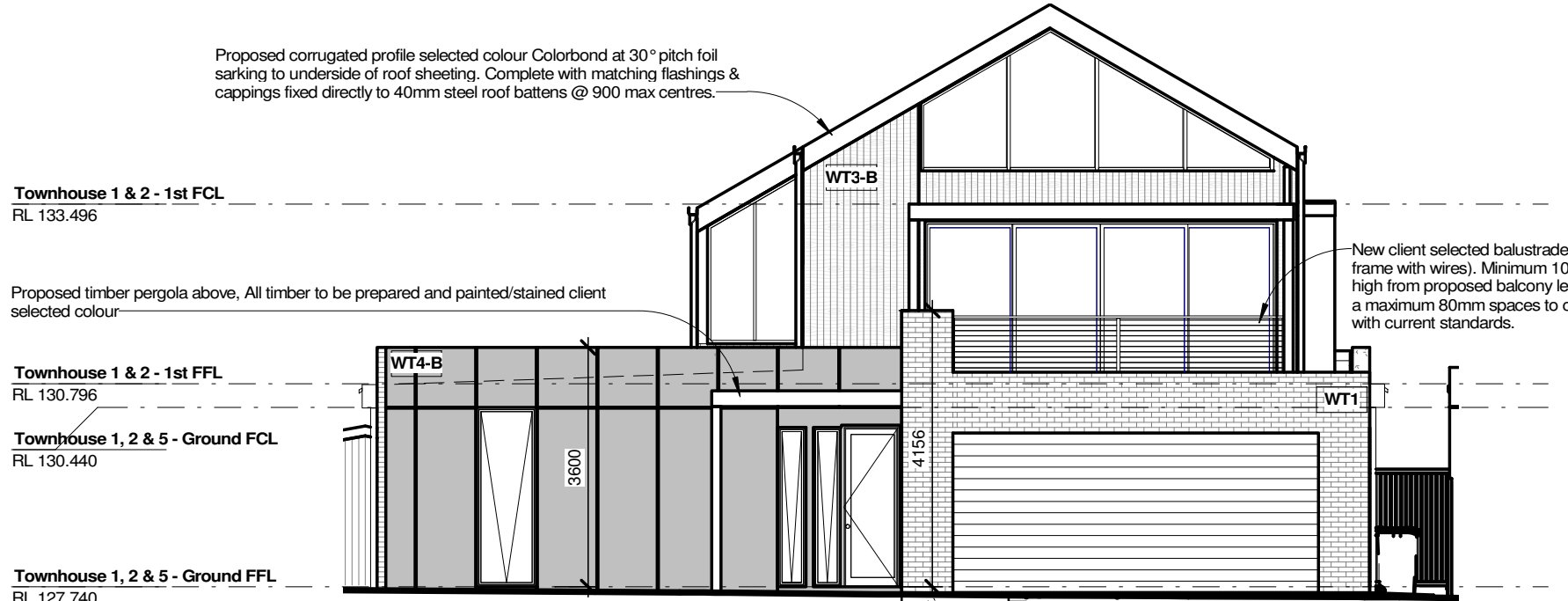
**Lot 2 - Proposed East Elevation**

Scale 1:100



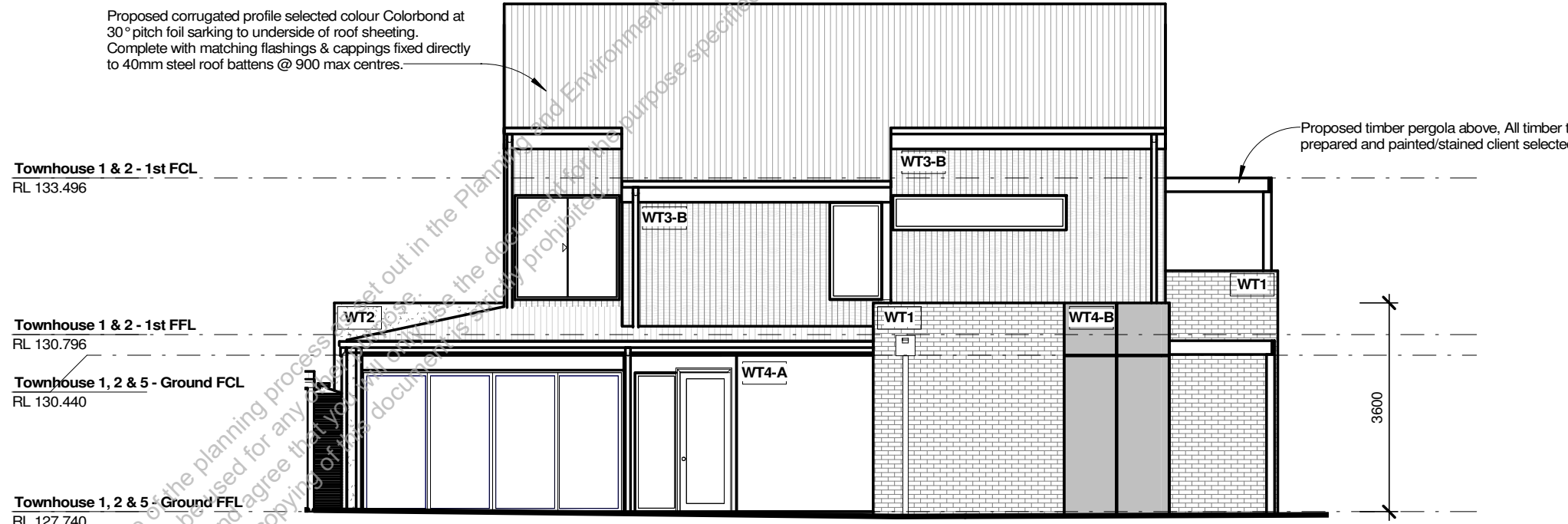
**Lot 2 - Proposed South Elevation**

Scale 1:100



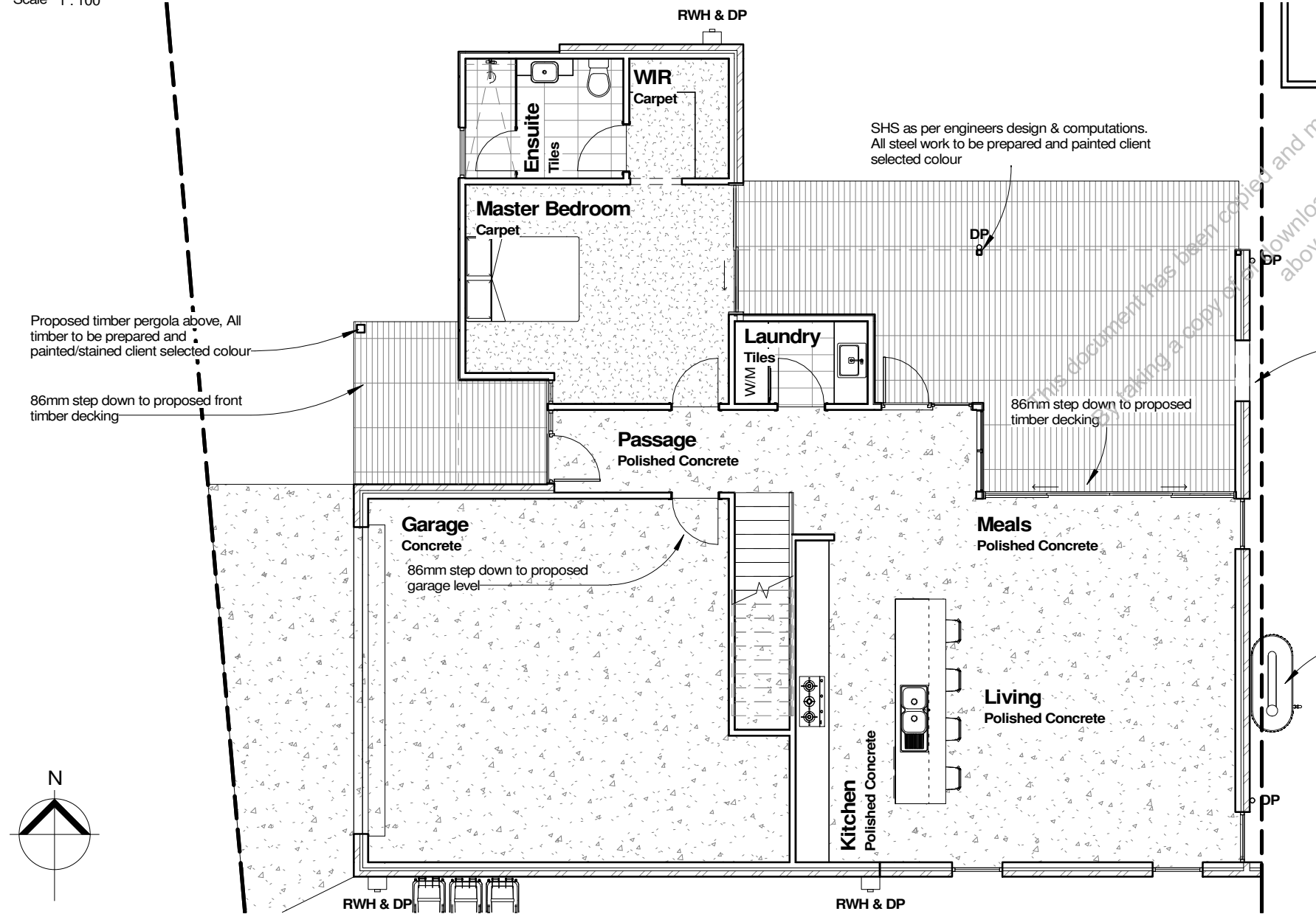
**Lot 2 - Proposed West Elevation**

Scale 1:100



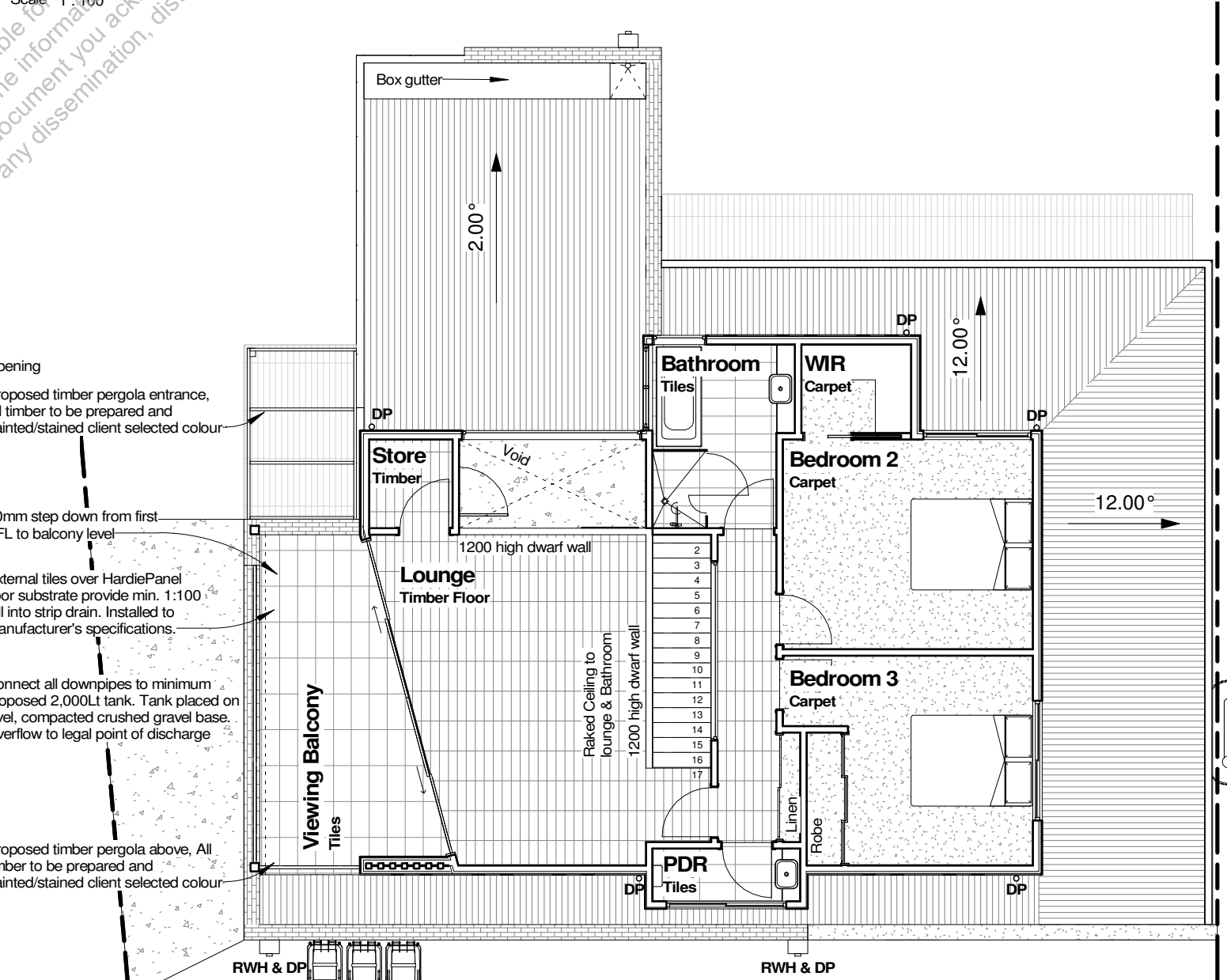
**Lot 2 - Proposed North Elevation**

Scale 1:100



**Lot 2 - Proposed Floor Plan & Elevations**

Town Planning Drawings Scale 1:100



**Lot 2 - First Floor Plan**

Scale 1:100

- General Notes:**
01. This drawing is one of a complete set and reference may need to be made to other Architectural or Engineering drawings for a complete understanding of the total works.
  02. Builder must verify all dimensions, set outs, levels etc. prior to commencement of any work or preparation of shop drawings. Report any discrepancies to the designer for clarification.
  03. Any discrepancies or conflicting notations on these drawings are to be referred to the designer for clarification before proceeding with any work.
  04. Do not scale these drawings. Where dimensions are not shown and are deemed to be necessary, reference must be made to the designer.
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**Materials Legend**

- WT1 Client selected stackbond brickwork shown. (white or similar colour with selected dark grout)
- WT2 Client selected brickwork with selected light grey render.
- Corrugated profile Monument roof sheeting colour Colorbond (or similar)
- Monument colour (or similar) to all exposed steelwork, window frames & fascias
- WT3 Selected vertical & horizontal timber look cladding with client selected finish
- WT4-A Selected Monument/Night Sky - 9mm thick James hardie ExoTec Cladding or similar product
- WT4-B Selected Shale Grey/Windspray - 9mm thick James hardie ExoTec Cladding or similar product
- Concrete to driveway & retaining walls.

**Lot 2**

Areas	371.316m <sup>2</sup>	100.00%	Required
Site:	197.200m <sup>2</sup>	53.11%	60.00%
Coverage:	139.777m <sup>2</sup>	37.64%	20.00%
Permeability:	80.00m <sup>2</sup>	%	80.00m <sup>2</sup>
SPOS:POS:	160.169m <sup>2</sup>	43.14%	25.00%
GAR:			

**Lot 2 - Area Schedule**

Name	Area	Squares
Lot 2 - Ground Floor	109.15 m <sup>2</sup>	11.75
Lot 2 - Front Porch	8.38 m <sup>2</sup>	0.90
Lot 2 - Rear Decking	39.76 m <sup>2</sup>	4.28
Lot 2 - Garage	50.47 m <sup>2</sup>	5.43
Lot 2 - Void	5.47 m <sup>2</sup>	0.59
Lot 2 - First Floor	83.90 m <sup>2</sup>	9.03
Lot 2 - Viewing Deck	15.86 m <sup>2</sup>	1.71

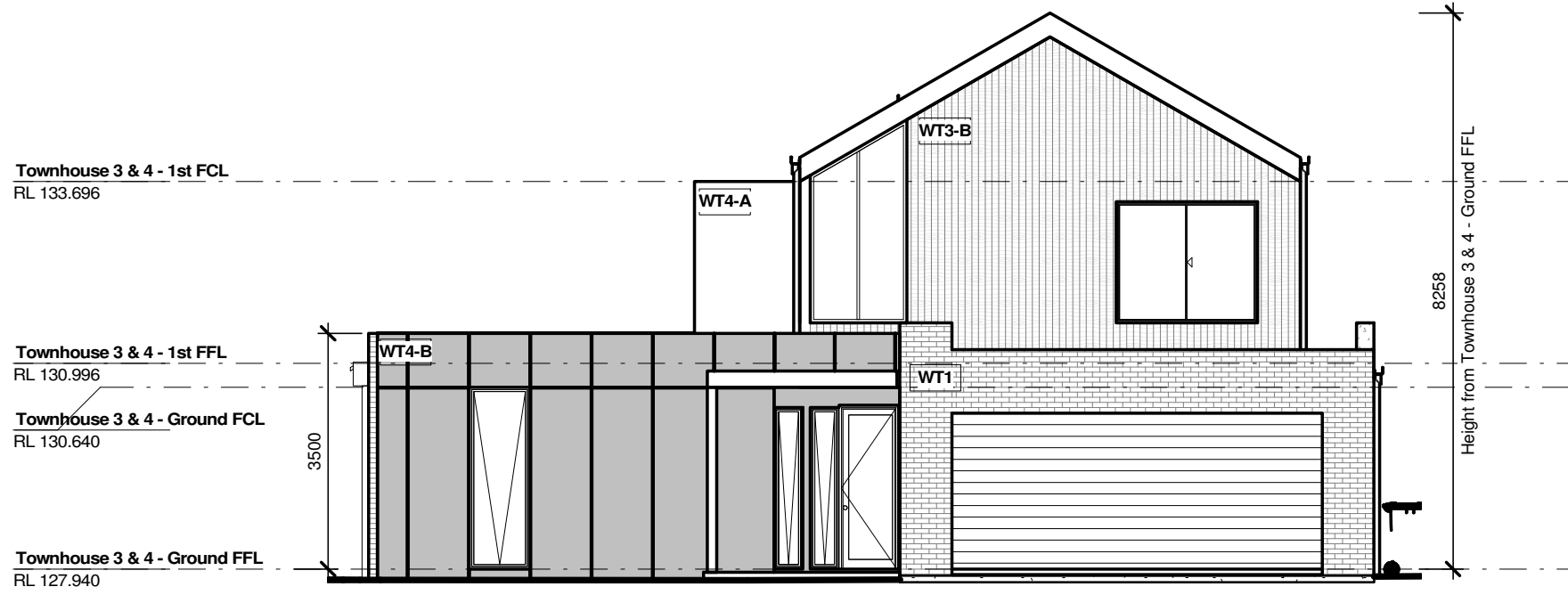
Revision Number	Revision Description	Revision Date

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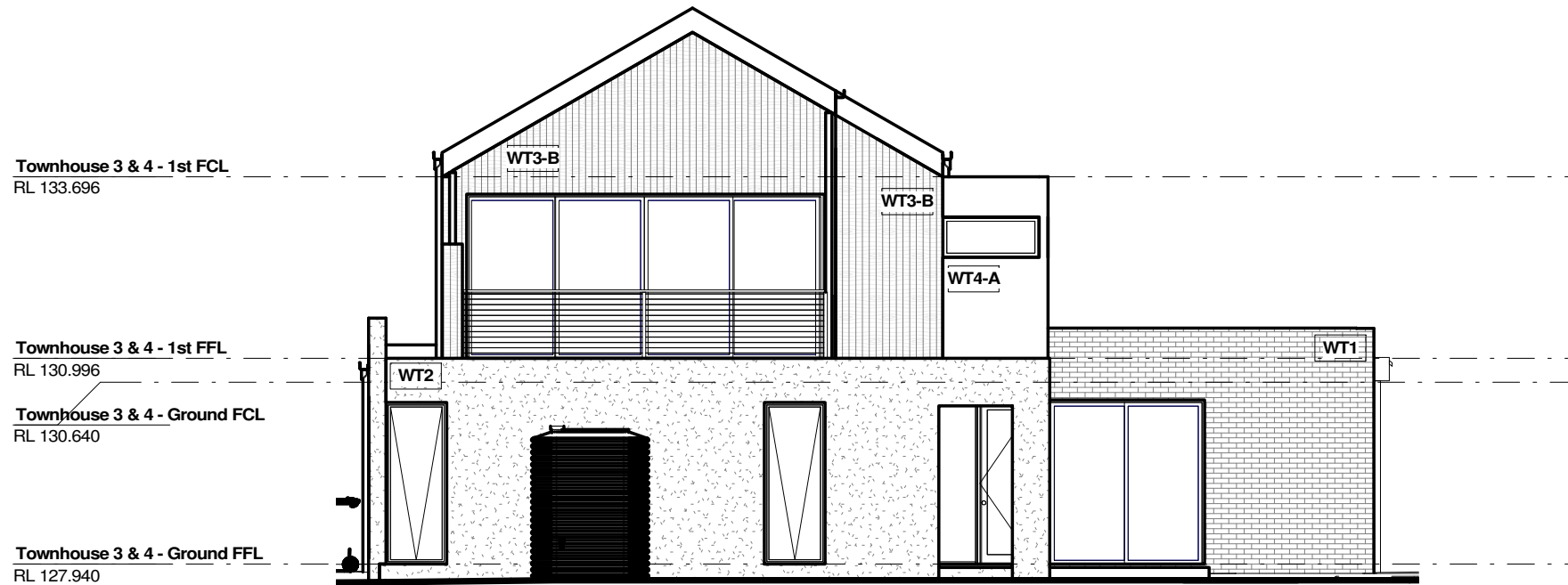






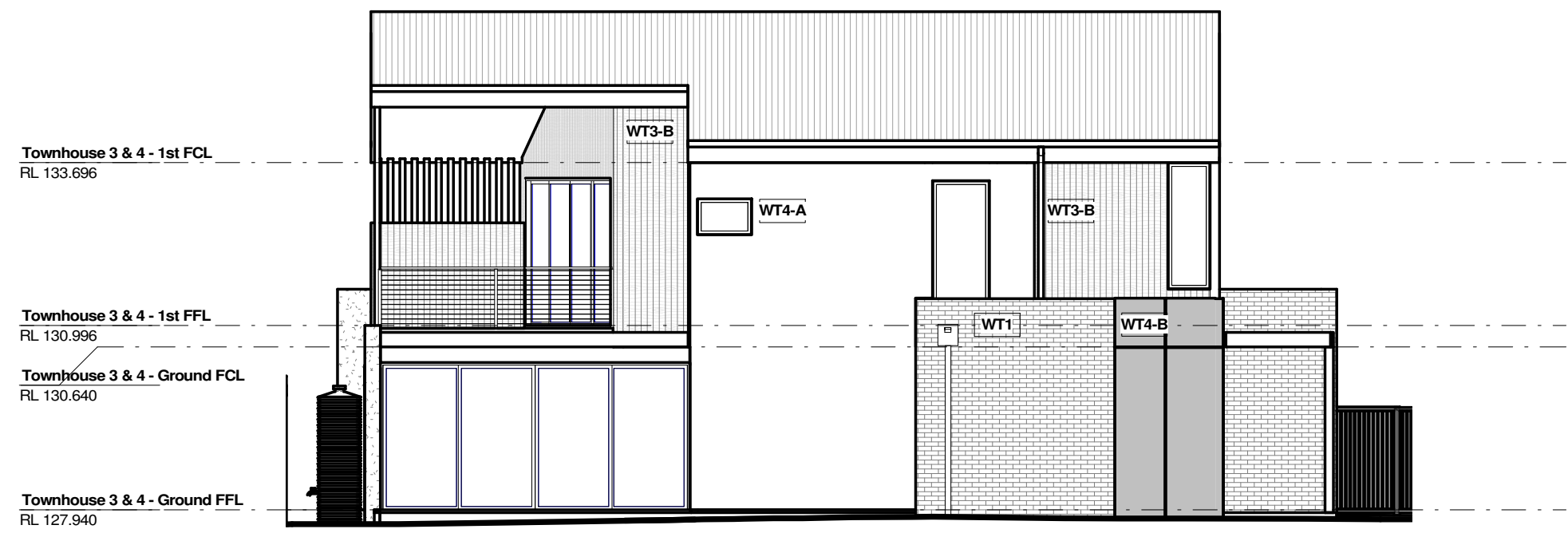
**Lot 4 - Proposed East Elevation**

Scale 1 : 100



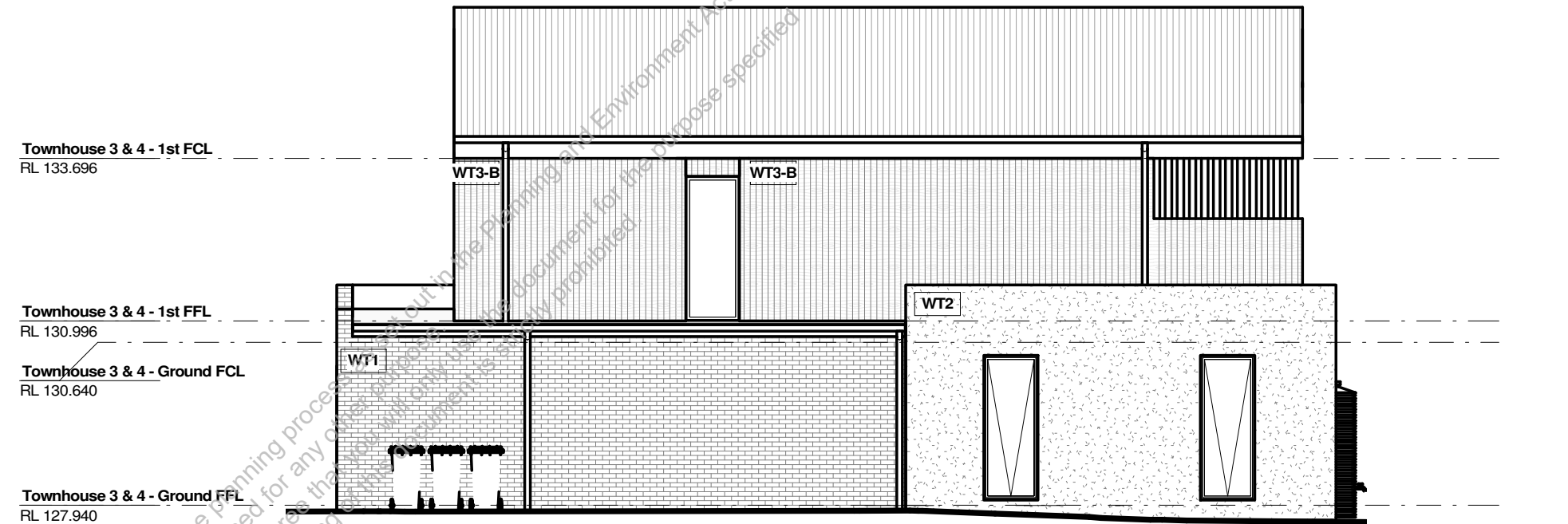
**Lot 4 - Proposed West Elevation**

Scale 1 : 100



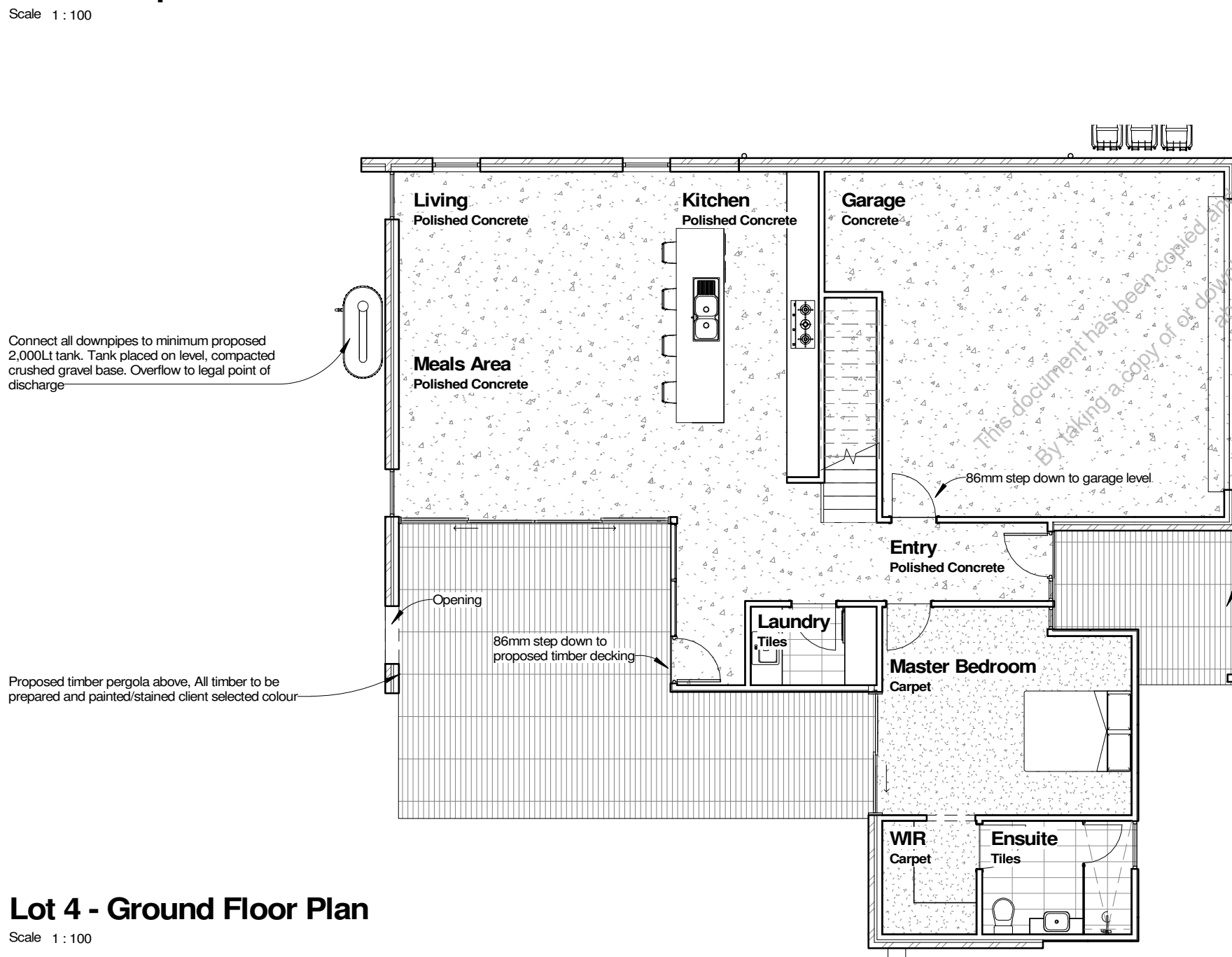
**Lot 4 - Proposed South Elevation**

Scale 1 : 100



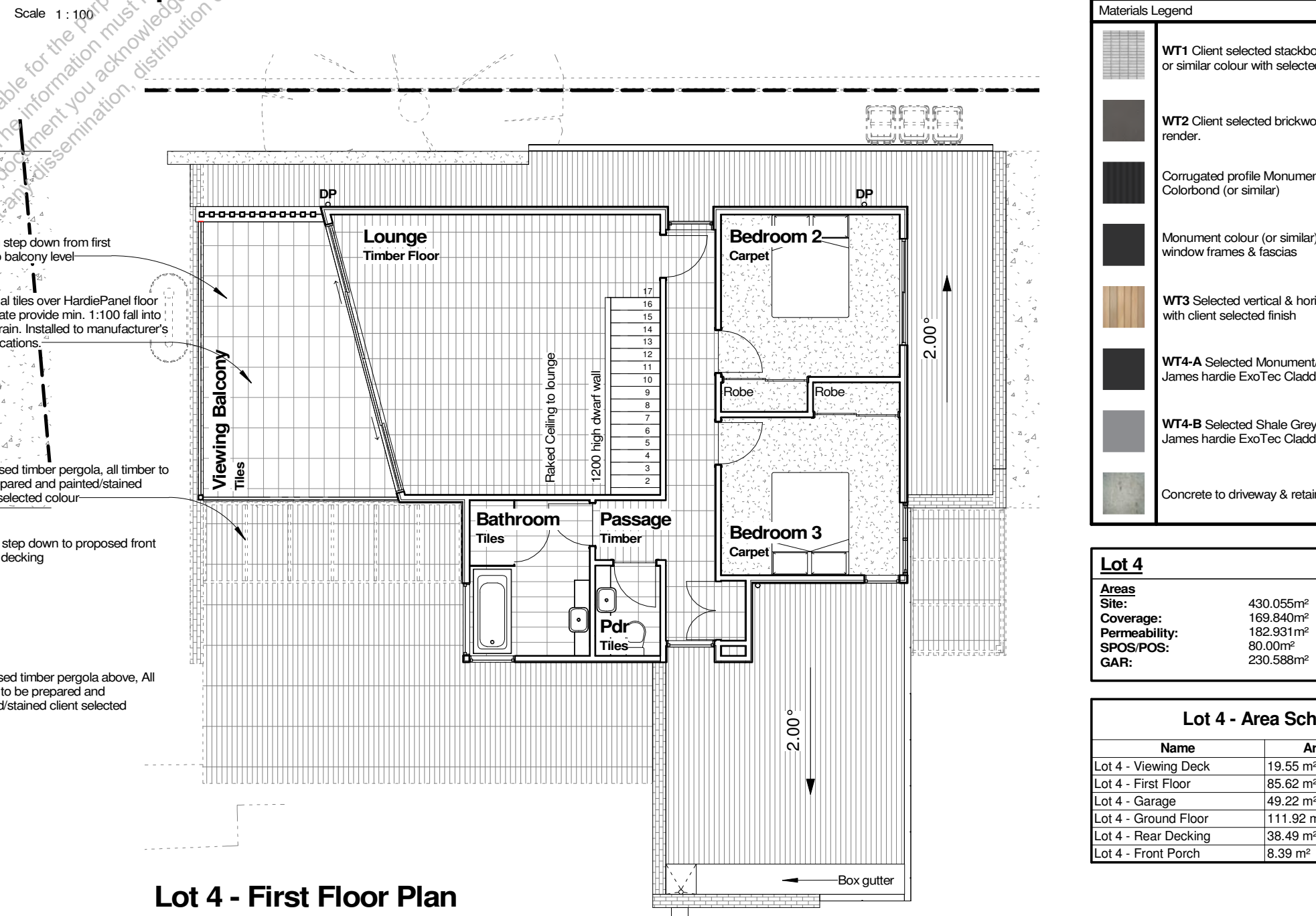
**Lot 4 - Proposed North Elevation**

Scale 1 : 100



**Lot 4 - Ground Floor Plan**

Scale 1 : 100



**Lot 4 - First Floor Plan**

Scale 1 : 100

**General Notes:**

- 01. This drawing is one of a complete set and reference may need to be made to other Architectural or Engineering drawings for a complete understanding of the total works.
- 02. Builder must verify all dimensions, set outs, levels etc. prior to commencement of any work or preparation of shop drawings. Report any discrepancies to the designer for clarification.
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 Bendigo, VIC, 3552



Materials Legend	
	WT1 Client selected stackbond brickwork shown. (white or similar colour with selected dark grout)
	WT2 Client selected brickwork with selected light grey render.
	Corrugated profile Monument roof sheeting colour Colorbond (or similar)
	Monument colour (or similar) to all exposed steelwork, window frames & fascias
	WT3 Selected vertical & horizontal timber look cladding with client selected finish
	WT4-A Selected Monument/Night Sky - 9mm thick James hardie ExoTec Cladding or similar product
	WT4-B Selected Shale Grey/Windspray - 9mm thick James hardie ExoTec Cladding or similar product
	Concrete to driveway & retaining walls.

Lot 4			
Areas	430.055m <sup>2</sup>	100.00%	Required
Site:	169.840m <sup>2</sup>	39.49%	60.00%
Coverage:	182.931m <sup>2</sup>	42.54%	20.00%
Permeability:	80.00m <sup>2</sup>	%	80.00m <sup>2</sup>
SPOS:POS:	230.588m <sup>2</sup>	53.62%	25.00%
GAR:			

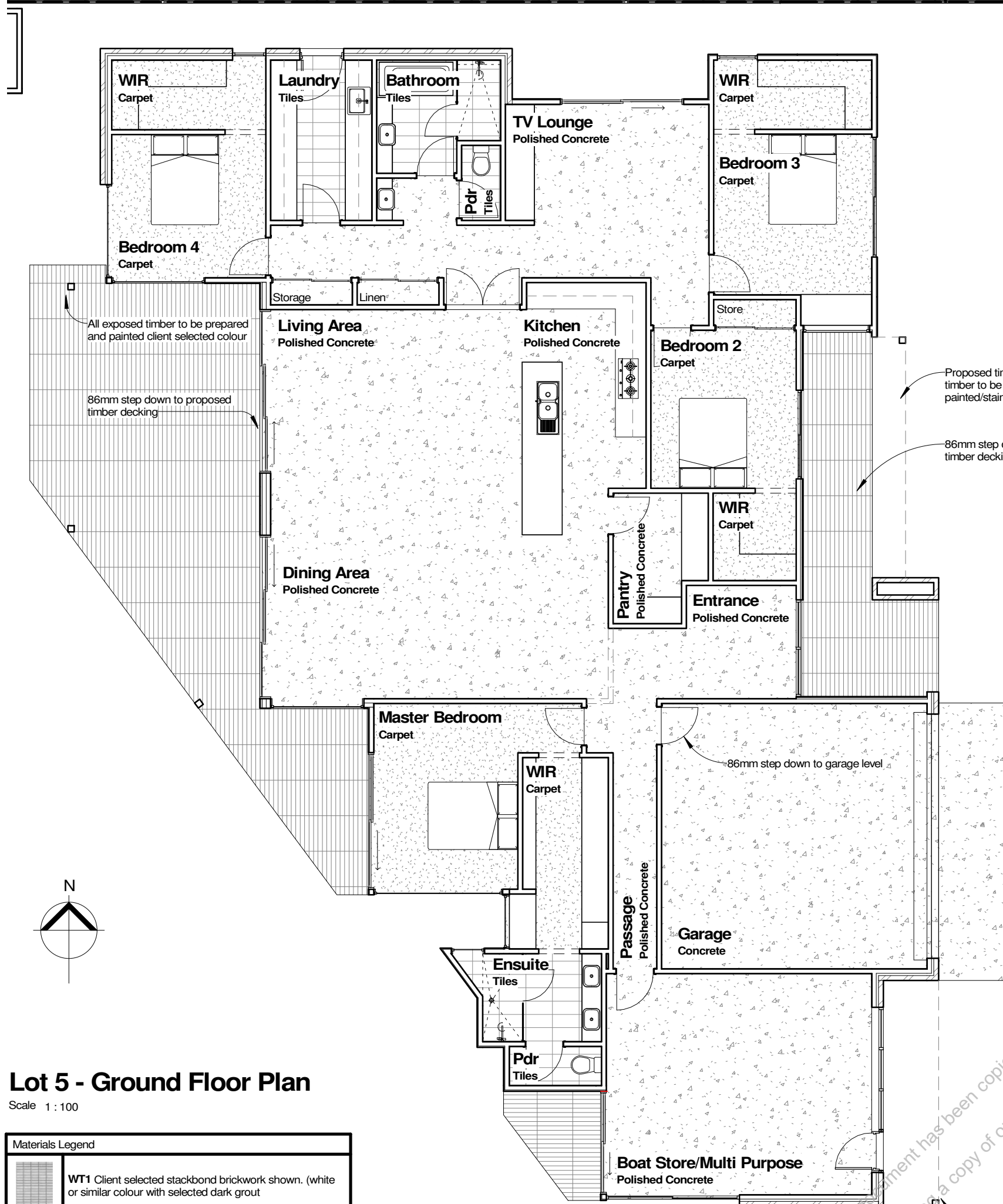
Lot 4 - Area Schedule		
Name	Area	Squares
Lot 4 - Viewing Deck	19.55 m <sup>2</sup>	2.10
Lot 4 - First Floor	85.62 m <sup>2</sup>	9.22
Lot 4 - Garage	49.22 m <sup>2</sup>	5.30
Lot 4 - Ground Floor	111.92 m <sup>2</sup>	12.05
Lot 4 - Rear Decking	38.49 m <sup>2</sup>	4.14
Lot 4 - Front Porch	8.39 m <sup>2</sup>	0.90

Revision Number	Revision Description	Revision Date

Client: Nagambie Development Enterprises  
 Site: 38-40 River Street, Nagambie  
 Date: 3/08/2020 3:28:53 PM  
 Job No.: 20-20  
 Sheet No. TP09  
 Drawn: HM

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**Lot 5 - Ground Floor Plan**  
Scale 1 : 100

**Materials Legend**

- WT1 Client selected stackbond brickwork shown. (white or similar colour with selected dark grout)
- WT2 Client selected brickwork with selected light grey render.
- Corrugated profile Monument roof sheeting colour Colorbond (or similar)
- Monument colour (or similar) to all exposed steelwork, window frames & fascias
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- WT4-B Selected Shale Grey/Windspray - 9mm thick James hardie ExoTec Cladding or similar product
- Concrete to driveway & retaining walls.

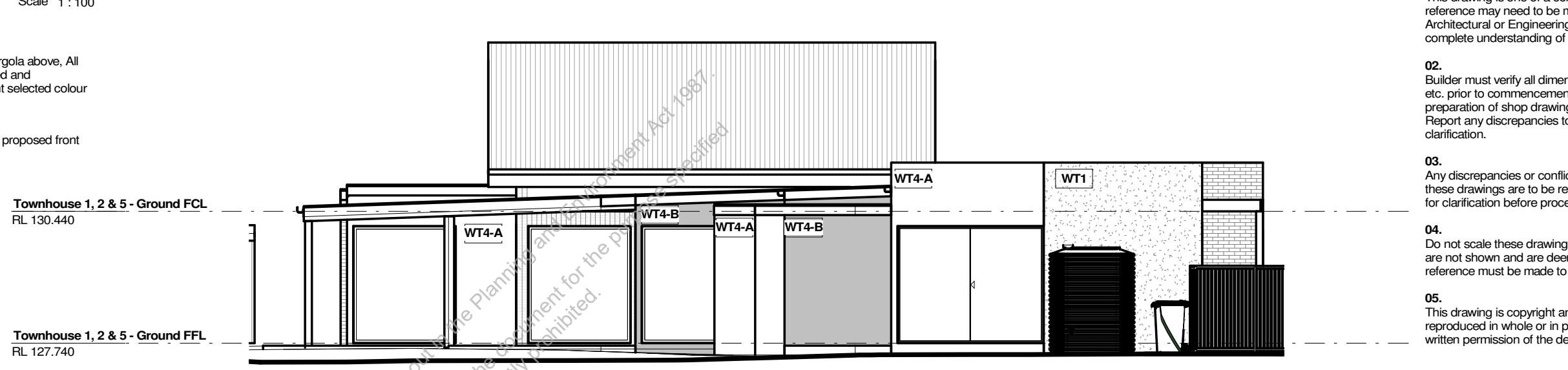
**Lot 5 - Area Schedule**

Name	Area	Squares
Lot 5 - Viewing Deck	50.36 m <sup>2</sup>	5.42
Lot 5 - Ground Floor	279.12 m <sup>2</sup>	30.04
Lot 5 - Garage	39.52 m <sup>2</sup>	4.25
Lot 5 - Front Porch	16.80 m <sup>2</sup>	1.81

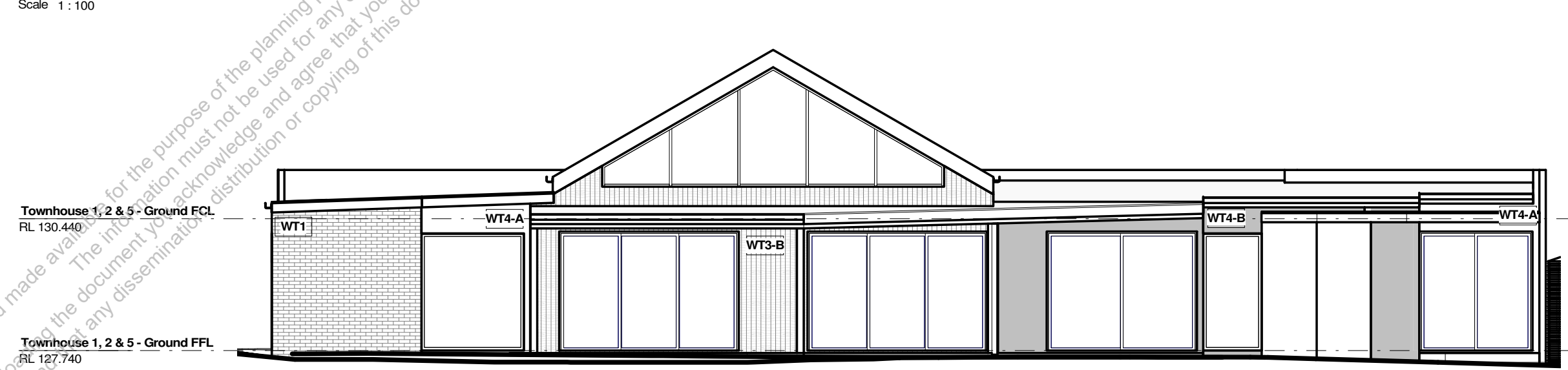
**Lot 5**

Areas	Site:	1023.653m <sup>2</sup>	100.00%	Required
Coverage:	381.555m <sup>2</sup>	37.27%	60.00%	
Permeability:	600.970m <sup>2</sup>	58.70%	20.00%	
SPOS/POS:	80.00m <sup>2</sup>	%	80.00m <sup>2</sup>	
GAR:	619.833m <sup>2</sup>	60.55%	25.00%	

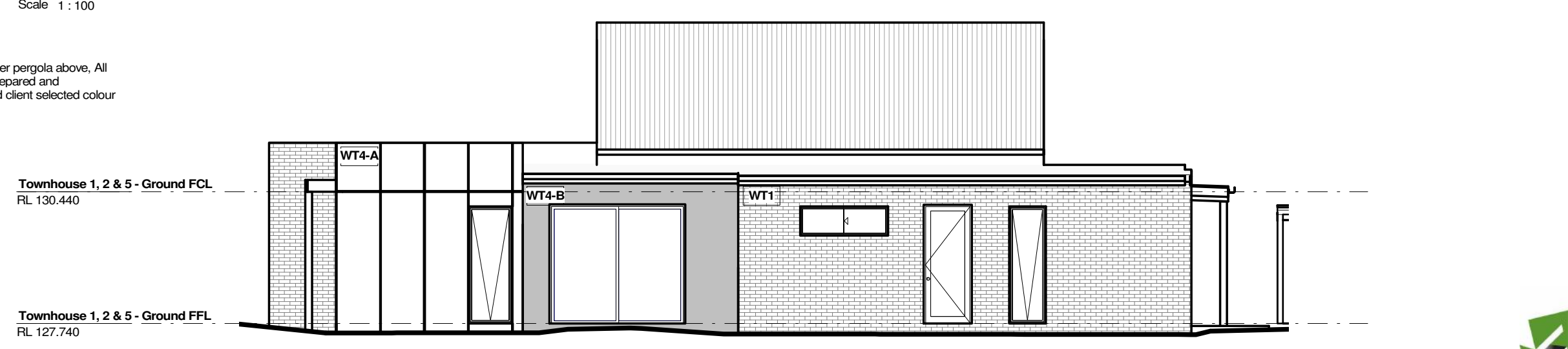
**Lot 5 - Proposed East Elevation**  
Scale 1 : 100



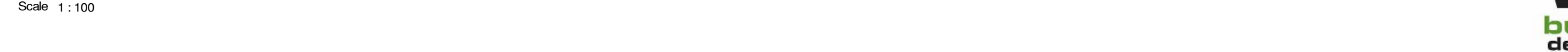
**Lot 5 - Proposed South Elevation**  
Scale 1 : 100



**Lot 5 - Proposed West Elevation**  
Scale 1 : 100



**Lot 5 - Proposed North Elevation**  
Scale 1 : 100



- General Notes:**
01. This drawing is one of a complete set and reference may need to be made to other Architectural or Engineering drawings for a complete understanding of the total works.
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Lot 5 - Proposed Floor Plan & Elevations

Scale @ A2 - As indicated

Town Planning Drawings

Revision Number	Revision Description	Revision Date

Elberton Farming PTY LTD  
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CBA Building Designers  
RBP No. CDP-AD57101



Client: Nagambie Development Enterprises

Site: 38-40 River Street, Nagambie

Drawn:HM

Date:3/08/2020 3:28:55 PM

Project:

20-20



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Sheet No. TP10





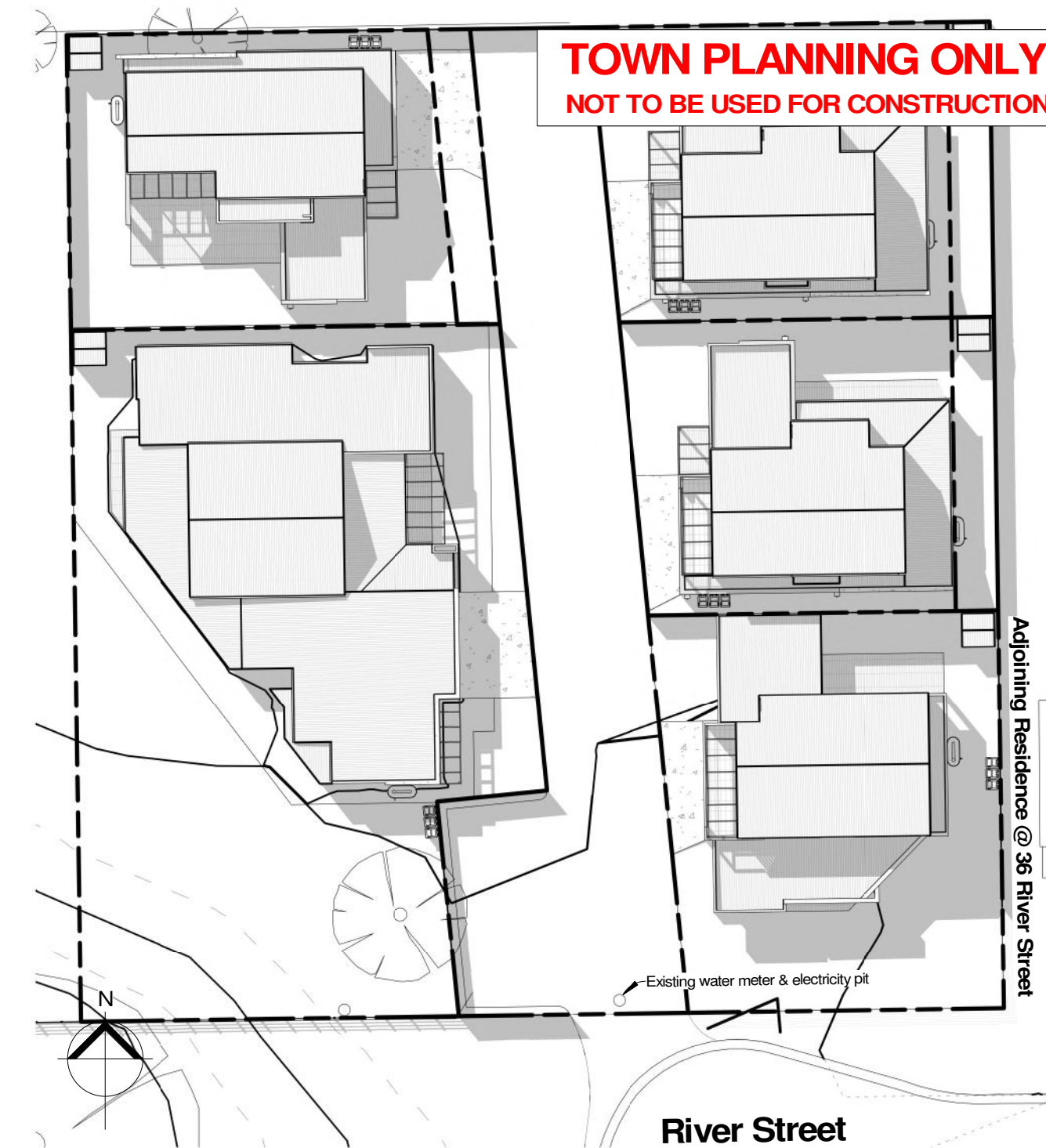
**Proposed - 9am Shadow Diagram**

Scale 1 : 350



**Proposed - 12pm Shadow Diagram**

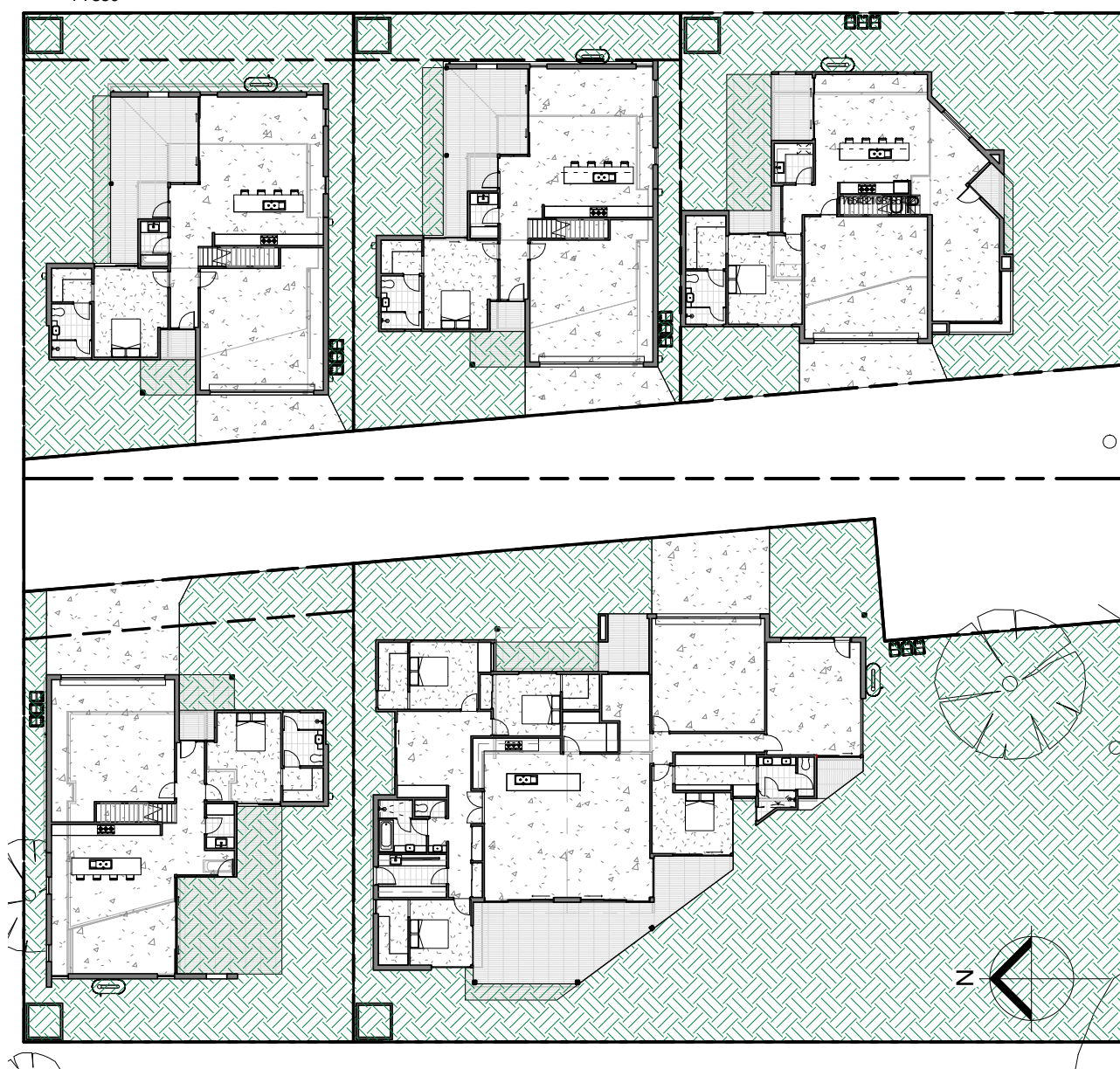
Scale 1 : 350



**Proposed - 3pm Shadow Diagram**

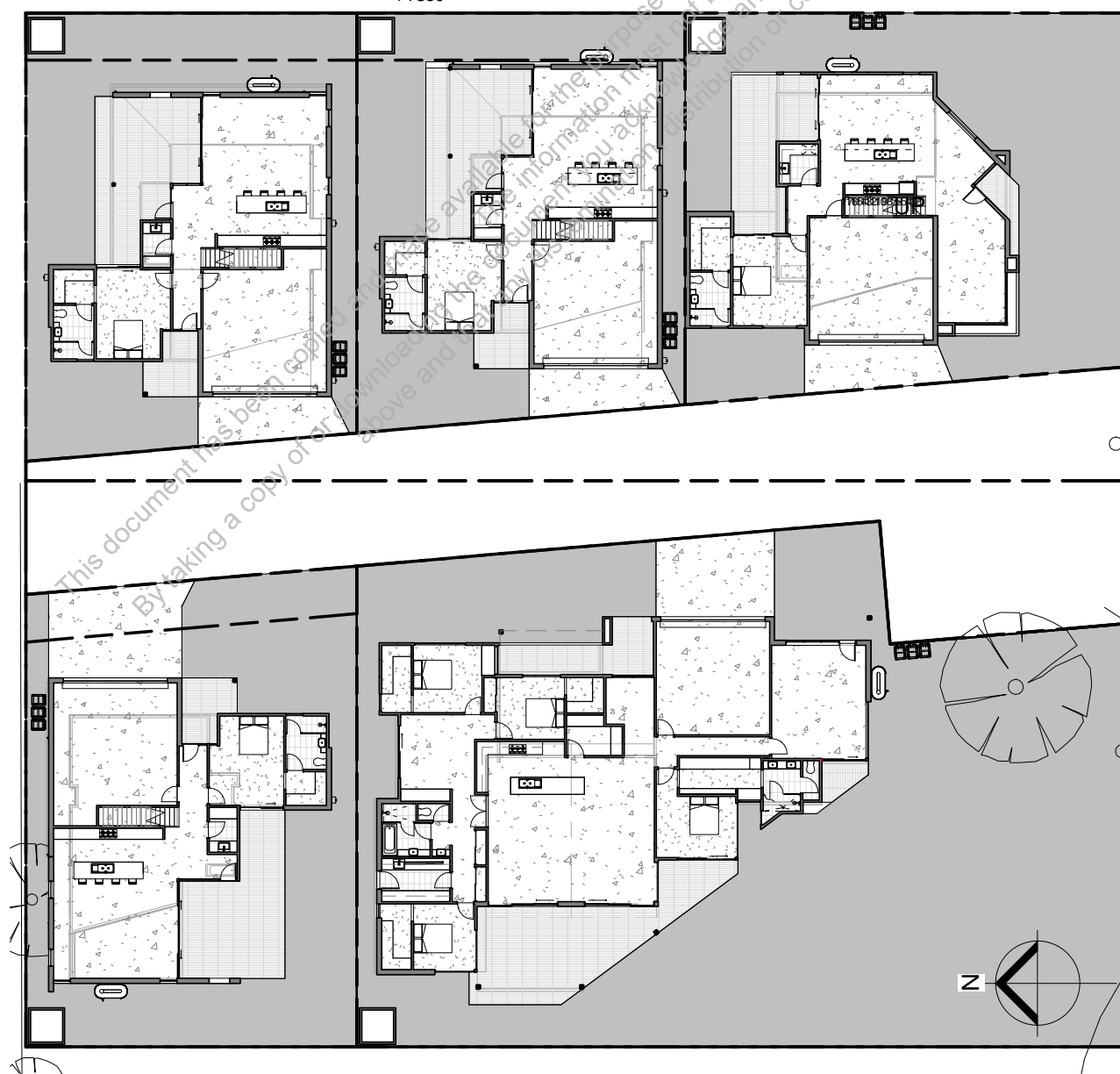
Scale 1 : 350

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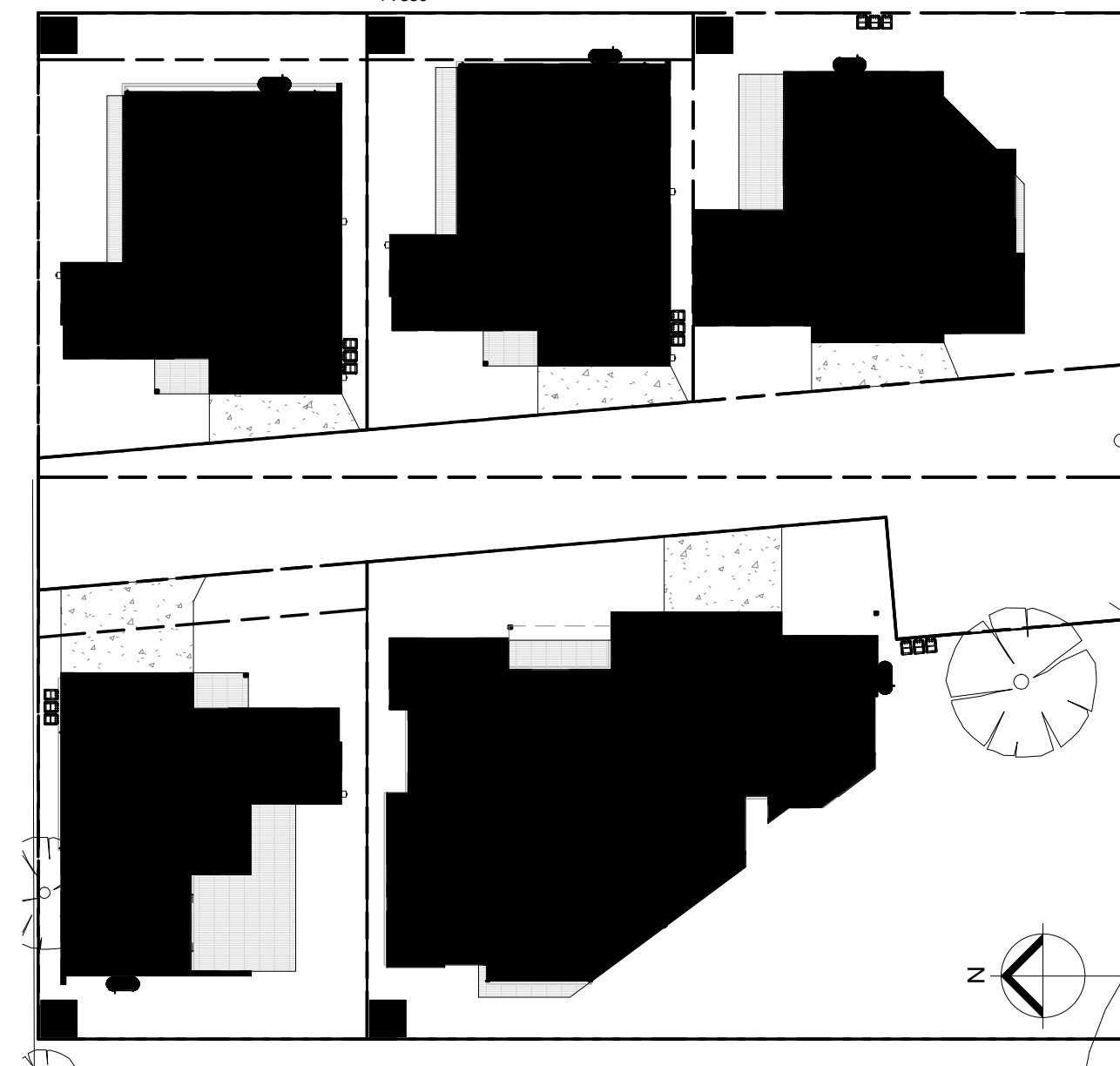
**Proposed GAR Plan**

Scale 1 : 350



**Proposed Permeability Plan**

Scale 1 : 350



**Proposed Site Coverage Plan**

Scale 1 : 350

**Note:**  
Shadow lines are shown during the spring equinox on the 22nd September.



Proposed Shadow Diagrams

Scale @ A2 - 1 : 350

Town Planning Drawings

Revision Number	Revision Description	Revision Date

Elberton Farming PTY LTD  
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RBP No. CDP-AD57101



Client: Nagambie Development Enterprises

Site: 38-40 River Street, Nagambie

Drawn:HM

Date:3/08/2020 3:29:20 PM

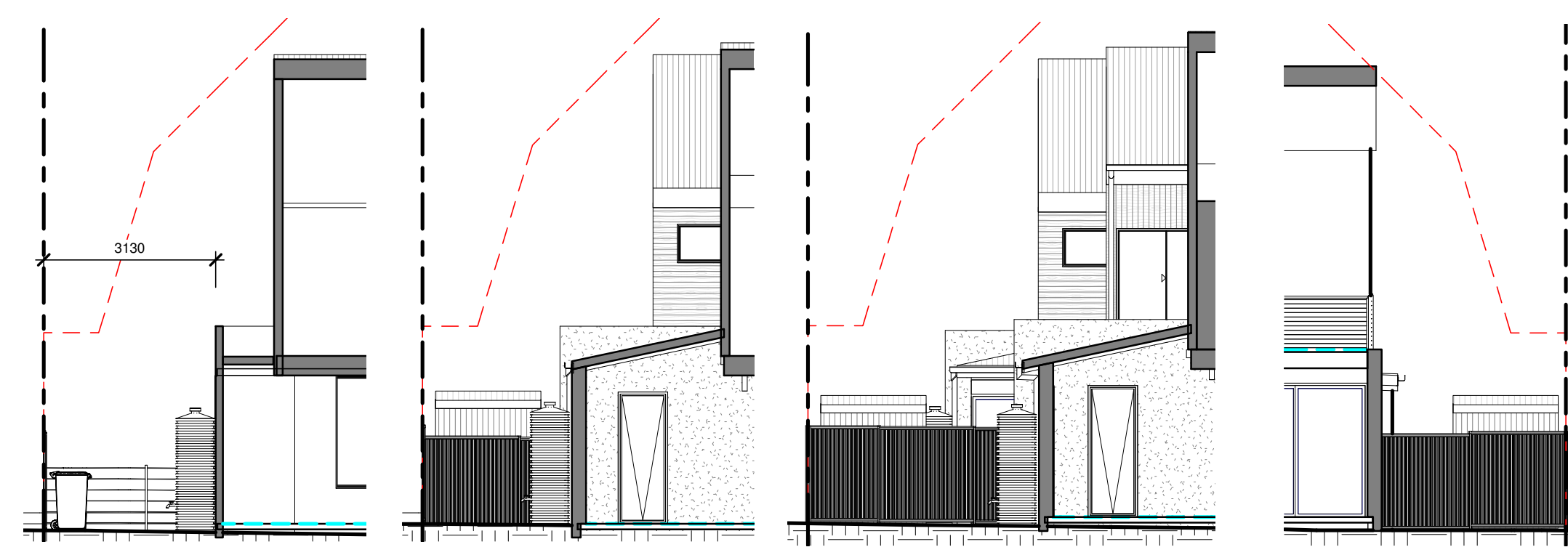
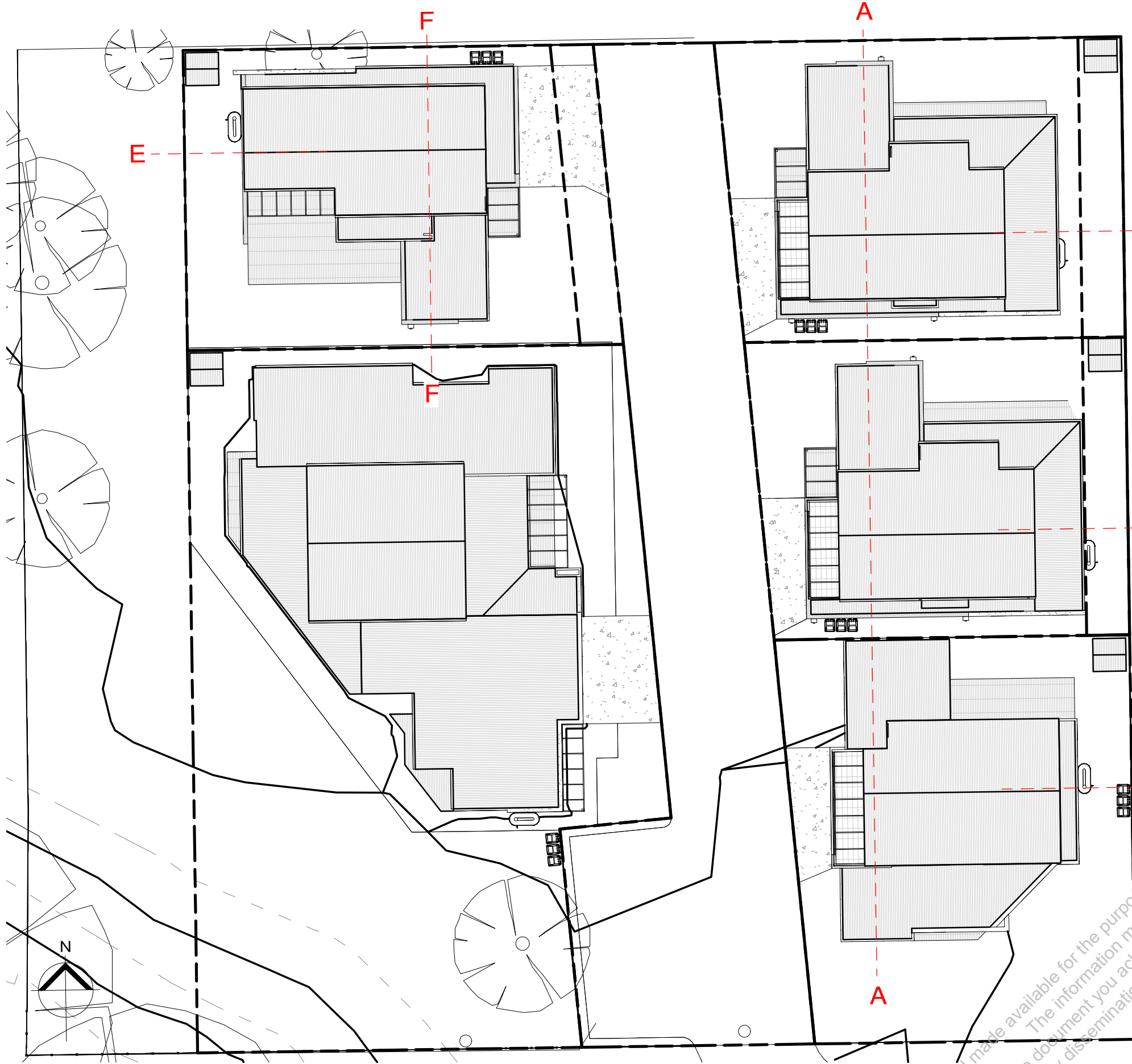
Project:

20-20

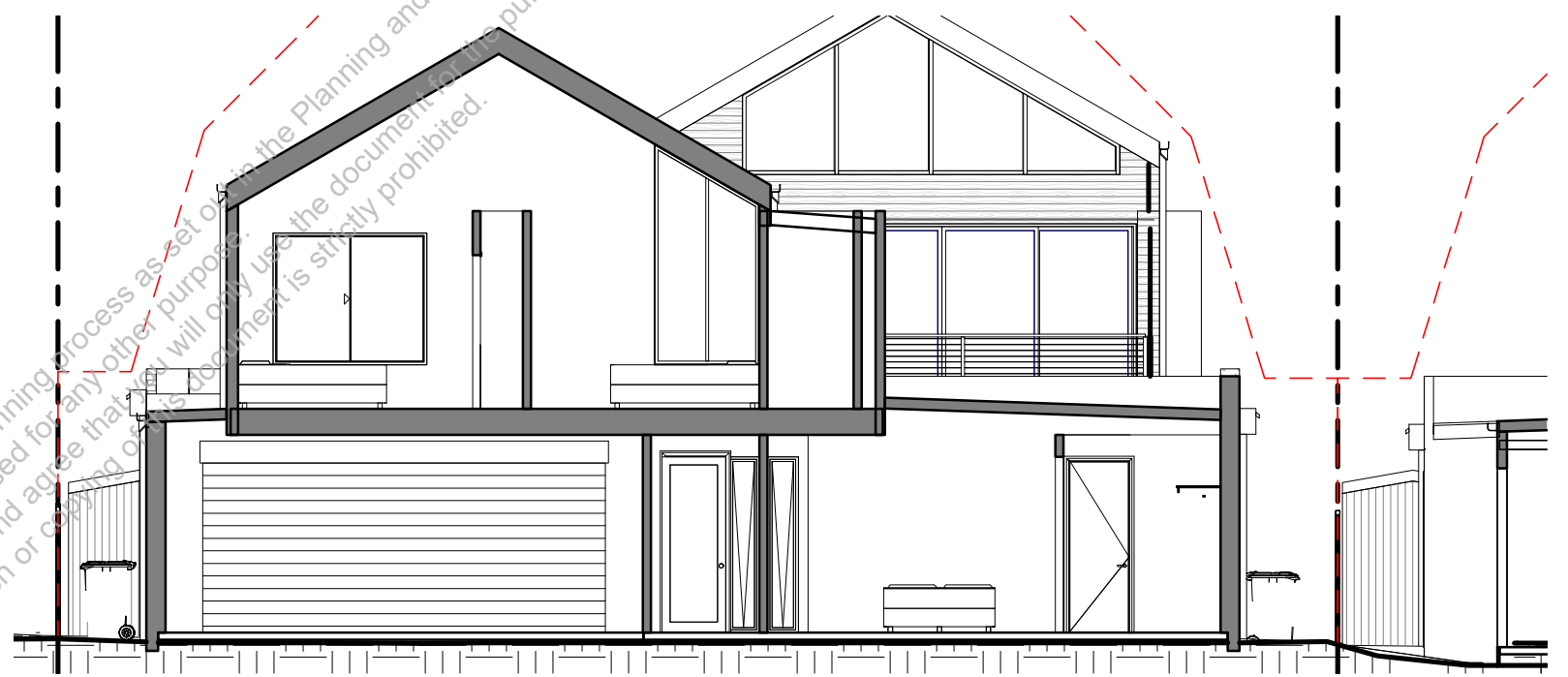
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Sheet No. TP11





**Sectional Height B** Scale 1:100  
**Sectional Height C** Scale 1:100  
**Sectional Height D** Scale 1:100  
**Sectional Height E** Scale 1:100

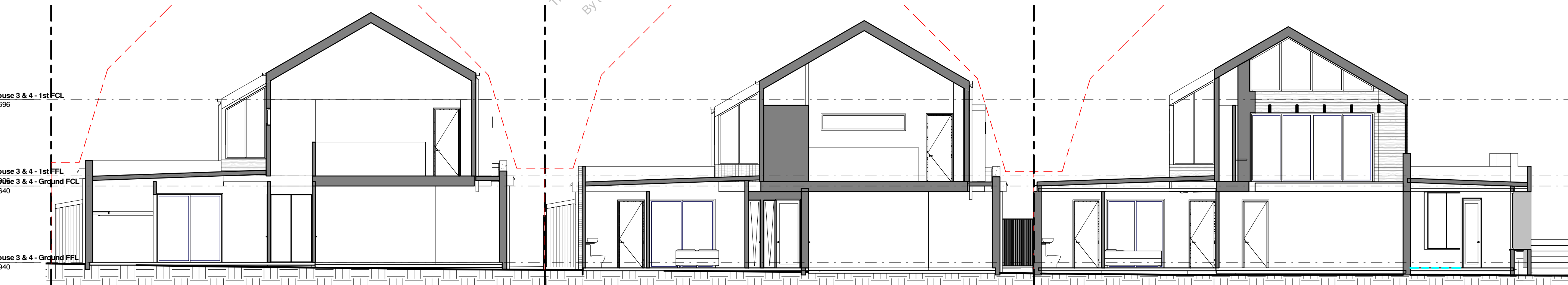


**Sectional Height F** Scale 1:100

**Sectional Heights**  
 Scale 1:250

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**Sectional Heights**  
**Town Planning Drawings**

**Sectional Height A**  
 Scale 1:100

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**Design Matters** Member

Revision Number	Revision Description	Revision Date

Client: Nagambie Development Enterprises  
 Site: 38-40 River Street, Nagambie  
 Date: 3/08/2020 3:28:28 PM  
 Drawn: HM

Job No.: 20-20  
 Sheet No.: TP12





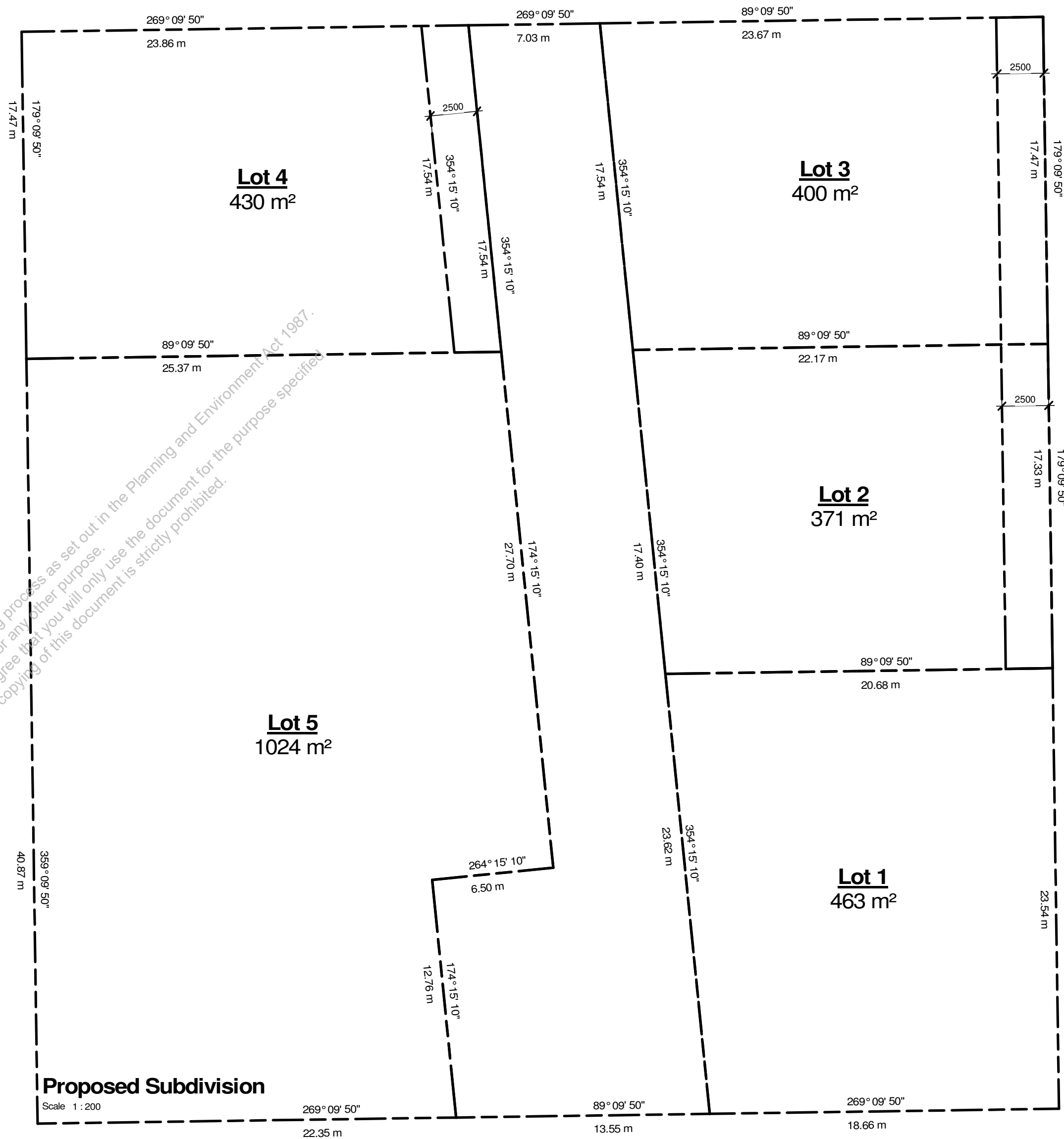
**Proposed Overlooking Diagram**

Scale 1:200

Legend	
	Window not overlooking adjoining Private open space
	Overlooking

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**Note:**  
Overlooking standards do not apply to a new habitable room, window or balcony, terrace, deck or patio which faces a property boundary where there is a visual barrier of at least 1.8m high (eg. Colorbond fencing) and the floor level of the habitable room, balcony, terrace, deck or patio is less than 800mm above natural ground level at the boundary. Therefore overlooking arcs not shown. Overlooking arcs not shown for neighbouring dwellings with windows over 9m from external walls.



**Proposed Subdivision**

Scale 1:200

Proposed Plan of Sub-Division & Overlooking  
Scale @ A2 - As Indicated  
Town Planning Drawings

Revision Number	Revision Description	Revision Date

Elberton Farming PTY LTD  
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RBP No. CDP-AD57101  
**Design Matters** Member  
Enable, advocate and celebrate good building design

Client: Nagambie Development Enterprises  
Site: 38-40 River Street, Nagambie  
Drawn:HM  
Date:3/08/2020 3:29:37 PM

Project:  
20-20  
Sheet No. TP13

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**Hard landscaping legend**

Concrete - client selected finish

**Soft landscaping - suggested planting in organic mulch**

**Trees (45L pot)** Selected non-indigenous evergreen or deciduous tree to be selected by client.

6 x 3m	Magnolia 'Little Gem'	<i>Magnolia grandiflora</i> 'Little Gem'
5 x 3m	Crapemyrtle Indian Summer	<i>Lagerstroemia indica</i>
20 x 4m	Silver Birch	<i>Betula pendula</i>

**High hedge in organic mulch (tubestock)**

1/m <sup>2</sup>	Emerald Lustre	<i>Viburnum odoratissimum</i>
1/m <sup>2</sup>	Oakleaf Hydrangea	<i>Hydrangea quercifolia</i>
2/m <sup>2</sup>	Canna Lily	<i>Canna</i> 'Pink Sunburst'

**Low hedge in organic mulch (tubestock)**

1/m <sup>2</sup>	Common Rosemary	<i>Rosmarinus officinalis</i>
1/m <sup>2</sup>	Gardenia	<i>Gardenia</i> 'Professor Pucco'
1/m <sup>2</sup>	Spring Time	<i>Rhaphiolepis</i> 'Spring Time'

**Strap leaf in pebble mulch (tubestock)**

3/m <sup>2</sup>	Summer Beauty	<i>Liriope muscari</i>
3/m <sup>2</sup>	Purple Flag	<i>Patersonia occidentalis</i>

**Creepers in organic mulch (tubestock)**

4/m <sup>2</sup>	Blindweed	<i>Convolvulus mauritanicus</i>
4/m <sup>2</sup>	Summertimes Blues	<i>Scaevola aemula</i>
4/m <sup>2</sup>	Native Violet	<i>Viola hederacea</i>

**Climber planting along fence in organic mulch (tubestock)**

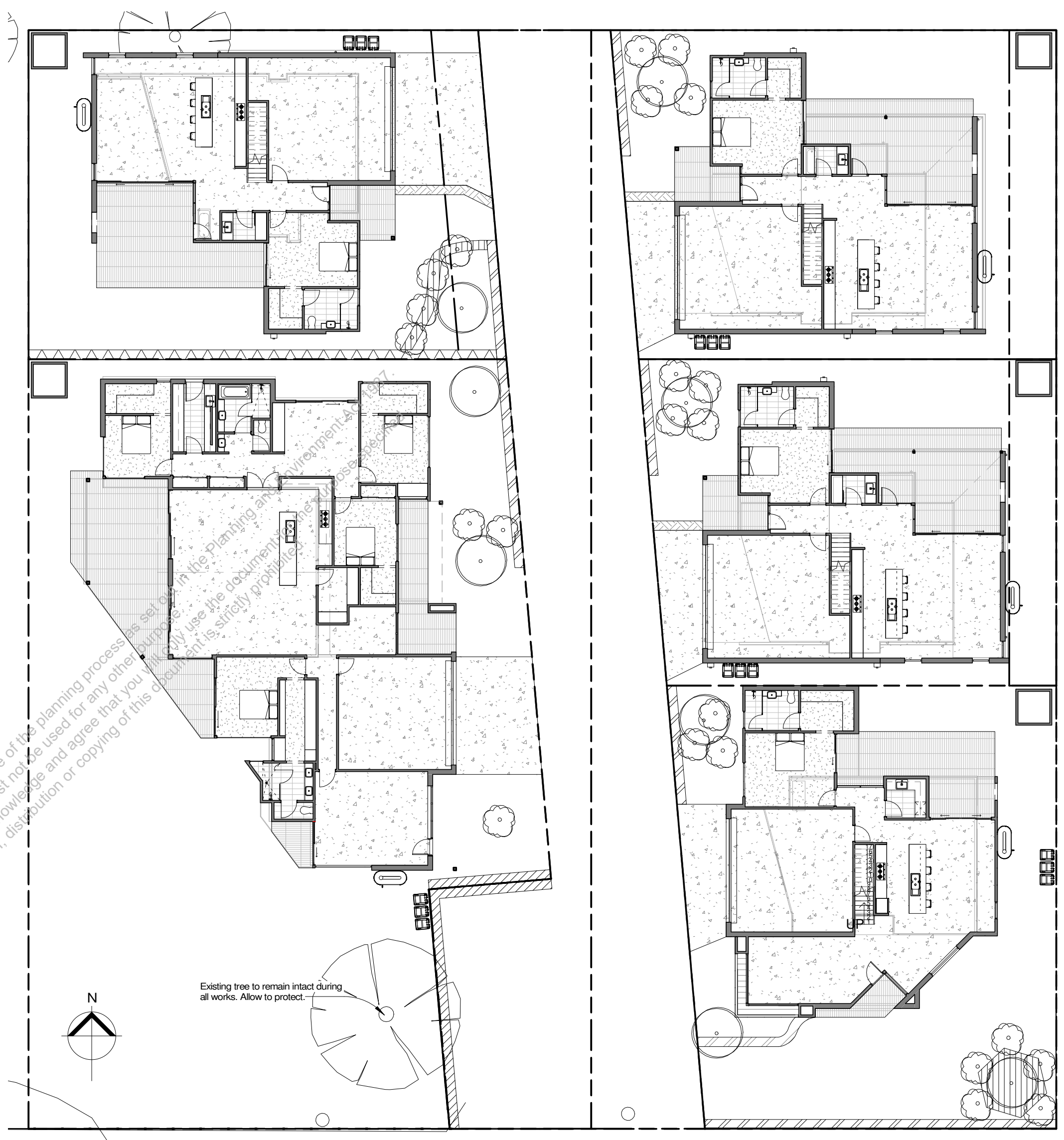
1/m <sup>2</sup>	Sweet Apple-berry	<i>Billardiera cymosa</i>
1/m <sup>2</sup>	Purple Coral Pea	<i>Hardenbergia violacea</i>

**Sparse grass planting in pebble mulch (tubestock)**

1/m <sup>2</sup>	Black-anther Flax-lily	<i>Dianella admixta</i>
1/m <sup>2</sup>	Spiny-headed Mat-rush	<i>Lomandra longifolia</i> ssp. <i>longifolia</i>
1/m <sup>2</sup>	Wattle Mat-rush	<i>Lomandra filiformis</i> ssp. <i>coriacea</i>
3/m <sup>2</sup>	Ruby Saltbush	<i>Enchylaena tomentosa</i> var. <i>tomentosa</i>
3/m <sup>2</sup>	Inland Pigface	<i>Carpobrotus modestus</i>

**Herbaceous planting in organic mulch (tubestock)**

4/m <sup>2</sup>	Drumsticks	<i>Pycnosorus globosus</i>
4/m <sup>2</sup>	Sticky Everlasting	<i>Xerochrysum viscosum</i>
4/m <sup>2</sup>	Hoary Sunray	<i>Leucochrysum albicans</i>
4/m <sup>2</sup>	Blue Devil	<i>Eryngium ovinum</i>
4/m <sup>2</sup>	Austral Bugle	<i>Ajuga australis</i>



**Proposed Landscape Plan**  
Scale 1 : 200

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Proposed Landscape Plan  
Scale @ A2 - 1 : 200  
Town Planning Drawings

Revision Number	Revision Description	Revision Date

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Site: 38-40 River Street, Nagambie  
Drawn:HM

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Lot 1 Perspective



Lot 2 Perspective



Lot 3 Perspective



Lot 4 Perspective

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Proposed Perspectives  
 Scale @ A2 -  
 Town Planning Drawings

Revision Number	Revision Description	Revision Date

Elberton Farming PTY LTD  
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Client: Nagambie Development Enterprises  
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Date: 3/08/2020 3:29:48 PM

Project:  
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 Sheet No. TP15





Lot 5 Perspective



Streetscape Perspective A



Streetscape Perspective B




Streetscape Perspective C

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Proposed Perspectives  
 Scale @ A2 -  
 Town Planning Drawings

Revision Number	Revision Description	Revision Date

Elberton Farming PTY LTD  
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Client: Nagambie Development Enterprises  
 Site: 38-40 River Street, Nagambie  
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## CLAUSE 55 RESCODE COMPLIANCE CHECKLIST – 5 LOT SUBDIVISION AND TOWNHOUSE DEVELOPMENT

### Operation

The provisions of this Clause 55 contain:

- ▶ **Objectives.** An objective describes the desired outcome to be achieved in the completed development.
- ▶ **Standards.** A standard contains the requirements to meet the objective. A standard should normally be met. However, if the responsible authority is satisfied that an application for an alternative design solution meets the objective, the alternative design solution may be considered.
- ▶ **Decision guidelines.** The decision guidelines set out the matters that the responsible authority must consider before deciding if an application meets the objectives.

### Requirements

A development:

- ▶ Must meet all of the objectives of this clause that apply to the application.
- ▶ Should meet all of the standards of this clause that apply to the application

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## Assessment Summary

The following table provides an overview of which aspects of the development require a variation to the standards of Clause 55.

Standard	Complies	Standard	Complies	Standard	Complies
<b>B1</b> Neighbourhood Character	✓	<b>B13</b> Landscaping	✓	<b>B25</b> Accessibility	✓
<b>B2</b> Residential Policy	✓	<b>B14</b> Access	✓	<b>B26</b> Dwelling Entry	✓
<b>B3</b> Dwelling Diversity	N/A	<b>B15</b> Parking Location	✓	<b>B27</b> Daylight to New Windows	✓
<b>B4</b> Infrastructure	✓	<b>B16</b> Refer to Clause 52.06	✓	<b>B28</b> Private Open Space	✓
<b>B5</b> Street Setback	✓	<b>B17</b> Side and Rear Setbacks	✓	<b>B29</b> Solar Open Space	✓
<b>B6</b> Street Setback	✓	<b>B18</b> Walls on Boundaries	✓	<b>B30</b> Storage	✓
<b>B7</b> Building Height	✓	<b>B19</b> Daylight to Existing Windows	✓	<b>B31</b> Design Detail	✓
<b>B8</b> Site Coverage	✓	<b>B20</b> North- Facing Windows	N/A	<b>B32</b> Front Fences	✓
<b>B9</b> Permeability	✓	<b>B21</b> Overshadowing Open Space	✓	<b>B33</b> Common Property	✓
<b>B10</b> Energy Efficiency	✓	<b>B22</b> Overlooking	✓	<b>B34</b> Site Services	✓
<b>B11</b> Open Space	✓	<b>B23</b> Internal Views	✓		
<b>B12</b> Safety	✓	<b>B24</b> Noise Impacts	✓		



## 55.02 Neighbourhood Character and Infrastructure

	Compliance	Comment
<b>55.02-1 Neighbourhood Character Objectives</b>		
<p>To ensure that the design respects the existing neighbourhood character or contributes to a preferred neighbourhood character.</p> <p>To ensure that development responds to the features of the site and the surrounding area.</p> <p><b>Standard B1</b></p> <p>The design response must be appropriate to the neighbourhood and the site.</p> <p>The proposed design must respect the existing or preferred neighbourhood character and respond to the features of the site.</p>	✓	<p>The design response has appropriately considered the neighbourhood character and site and surrounding features.</p> <p>The design response is provided in the planning report.</p>
<b>55.02-2 Residential Policy Objectives</b>		
<p>To ensure that residential development is provided in accordance with any policy for housing in the Municipal Planning Strategy and the Planning Policy Framework.</p> <p>To support medium densities in areas where development can take advantage of public transport and community infrastructure and services.</p> <p><b>Standard B2</b></p> <p>An application must be accompanied by a written statement to the satisfaction of the responsible authority that describes how the development is consistent with any relevant policy for housing in the Municipal Planning Strategy and the Planning Policy Framework.</p>	✓	<p>The proposal is consistent with relevant housing policy at the MPS and PPF as detailed in the planning report.</p>
<b>55.02-3 Dwelling Diversity Objective</b>		

	Compliance	Comment
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To encourage a range of dwelling sizes and types in developments of ten or more dwellings.

N/A

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**Standard B3**

Developments of ten or more dwellings should provide a range of dwelling sizes and types, including:

- ▶ Dwellings with a different number of bedrooms.
- ▶ At least one dwelling that contains a kitchen, bath or shower, and a toilet and wash basin at ground floor level.

**55.02-4 Infrastructure Objectives**

To ensure development is provided with appropriate utility services and infrastructure.

✓

The development can be readily connected to reticulated sewerage, drainage, electricity, telecommunications and gas.

To ensure development does not unreasonably overload the capacity of utility services and infrastructure.

The existing service networks have the capacity to accommodate the increased demands of the development.

**Standard B4**

Development should be connected to reticulated services, including reticulated sewerage, drainage, electricity and gas, if available.

Development should not reasonably exceed the capacity of utility services and infrastructure, including reticulated services and roads.

In areas where utility services or infrastructure have little or no space capacity, developments should provide for the upgrading of or mitigation of the impact on services or infrastructure.

**55.02-5 Integration With The Street Objective**

	Compliance	Comment
<p>To integrate the layout of development with the street.</p> <p><b>Standard B5</b></p> <p>Developments should provide adequate vehicle and pedestrian links that maintain or enhance local accessibility.</p> <p>Development should be orientated to front existing and proposed streets.</p> <p>High fencing in front of dwellings should be avoided if practicable.</p> <p>Development next to existing public open space should be laid out to complement the open space.</p>	✓	<p>All dwellings will front the new laneway while maintaining connection to River Street through low fencing/ no fencing at frontages and significant landscaping.</p> <p>The new laneway will be treated to encourage the road as a shared pedestrian/cyclist zone with appropriate connection to River Street.</p> <p>The road allows emergency access from the future development to the north and is accessible by emergency vehicles.</p>

### 55.03 Site Layout and Building Massing

	Compliance	Comment
<b>55.03-1 Street setback objective</b>		
<p>To ensure that the setbacks of buildings from a street respect the existing or preferred neighbourhood character and make efficient use of the site.</p> <p><b>Standard B6</b></p> <p>Walls of buildings should be set back from streets:</p> <ul style="list-style-type: none"> <li>▶ At least the distance specified in the schedule to the zone, or</li> <li>▶ If no distance is specified in the schedule to the zone, the distance specified in Table B1.</li> </ul> <p>Porches, pergolas and verandas that are less than 3.6 metres high and eaves may encroach not more than 2.5 metres into the setbacks of this standard.</p>	✓	<p>Setbacks to the new laneway are a minimum distance of 2m which allows some landscaping in the frontage whilst making efficient use of the site.</p> <p>Dwellings 1 and 5 front River Street and are setback 6.39m and 13.86m respectively. Setbacks in River Street are varied but all include extensive landscaping. The Lot 5 setback is adequate and maintains views to Lake Nagambie and Public land, while Lot 1 has a slightly smaller setback than 36 River</p>

	Compliance	Comment
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<b>55.03-2 Building Height Objective</b>
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To ensure that the height of buildings respects the existing or preferred neighbourhood character.

**Standard B7**

The maximum building height should not exceed the maximum height specified in the zone schedule to the zone or an overlay that applies to the land.

If no maximum height is specified in the zone, schedule to the zone or an overlay, the maximum building height should not exceed 9 metres, unless the slope of the natural ground level at any cross section wider than 8 metres of the site of the building is 2.5 degrees or more, in which case the maximum building height should not exceed 10 metres.

Changes of building height between existing buildings and new buildings should be graduated.

✓

All dwellings are less than 9m high.

Upper levels are setback from lower levels to provide graduation in height between buildings. Setbacks and façade articulation avoids the effect of a “tunnel” between the buildings.

	Compliance	Comment
<b>55.03-3 Site Coverage Objective</b>		
<p>To ensure that the site coverage respects the existing or preferred neighbourhood character and responds to the features of the site.</p> <p><b>Standard B8</b></p> <p>The site area covered by buildings should not exceed:</p> <ul style="list-style-type: none"> <li>▶ The maximum site coverage specified in the schedule to the zone, or</li> <li>▶ If no maximum site coverage is specified in the schedule to the zone, 60 per cent.</li> </ul>	✓	<p>All lots are well under the maximum site coverage of 60%.</p> <p>Lot 1: 43%</p> <p>Lot 2: 53.11%</p> <p>Lot 3: 49.91%</p> <p>Lot 4: 39.49%</p> <p>Lot 5: 37.27%</p>
<b>55.03-4 Permeability and Stormwater Management Objectives</b>		
<p>To reduce the impact of increased stormwater run-off on the drainage system.</p> <p>To facilitate on-site stormwater infiltration.</p> <p>To encourage stormwater management that maximises the retention and reuse of stormwater.</p> <p><b>Standard B9</b></p> <p>The site area covered by the pervious surfaces should be at least:</p> <ul style="list-style-type: none"> <li>▶ The minimum area specified in a schedule to the zone, or</li> <li>▶ If no minimum is specified in a schedule to the zone, 20 percent of the site.</li> </ul> <p>The stormwater management system should be designed to:</p> <ul style="list-style-type: none"> <li>▶ Meet the current best practice performance objectives for stormwater quality as contained in the <i>Urban Stormwater - Best Practice Environmental Management Guidelines</i> (Victorian Stormwater Committee, 1999).</li> <li>▶ Contribute to cooling, improving local habitat and providing attractive and enjoyable spaces.</li> </ul>	✓	<p>All lots meet the minimum area of 20% of the site.</p> <p>Lot 1: 49.16%</p> <p>Lot 2: 37.64%</p> <p>Lot 3: 42.52%</p> <p>Lot 4: 42.54%</p> <p>Lot 5: 58.70%</p>



	Compliance	Comment
<b>55.03-5 Energy Efficiency Objectives</b>		

To achieve and protect energy efficient dwellings and residential buildings.  
 To ensure the orientation and layout of development reduce fossil fuel energy use and made appropriate use of daylight and solar energy.

**Standard B10**

Buildings should be:

- ▶ Oriented to make appropriate use of solar energy.
- ▶ Sited and designed to ensure that the energy efficiency of existing dwellings on adjoining lots is not unreasonably reduced.
- ▶ Sited and designed to ensure that the performance of existing rooftop solar energy facilities on dwellings on adjoining lots in a General Residential Zone, Neighbourhood Residential Zone or Township Zone are not unreasonably reduced. The existing rooftop solar energy facility must exist at the date the application is lodged.

Living areas and private open space should be located on the north side of the development, if practicable.

Developments should be designed so that solar access to north-facing windows is maximised.

✓

Dwellings have been designed and sited to make appropriate use of solar access.  
 The development will not impact upon solar access for any existing dwellings.  
 Most habitable rooms are located on the northern side of the dwelling or are provided with northern facing windows.  
 There are no existing rooftop solar facilities on adjoining lots which could be impacted by the development.

	Compliance	Comment
<b>55.03-6 Open Space Objective</b>		

To integrate the layout of development with any public and communal open space provided in or adjacent to the development.

**Standard B11**

If any public or communal open space is provided on site, it should:

- ▶ Be substantially fronted by dwellings, where appropriate.
- ▶ Provide outlook for as many dwellings as practicable.
- ▶ Be designed to protect any natural features on the site.
- ▶ Be accessible and useable.

✓

The development's interface with River Street Reserve maintains passive surveillance and an outlook from a number of dwellings.

Development at the site will not impact upon the natural flood function of the land.

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	Compliance	Comment
<b>55.03-7 Safety Objective</b>		

To ensure the layout of development provides for the safety and security of residents and property.

**Standard B12**

Entrances to dwellings and residential buildings should not be obscured or isolated from the street and internal accessways.

Planting which creates unsafe spaces along streets and accessways should be avoided.

Developments should be designed to provide good lighting, visibility and surveillance of car parks and internal accessways.

Private spaces within the developments should be protected from inappropriate use as public thoroughfares.

✓

All dwelling entrances are clearly visible from the internal access ways and easily identifiable.

Development has been sited to view inwards of the site to allow passive surveillance of the shared access way and includes lighting and car parking in the central area to enhance safety and security.

Landscaping has been appropriately designed so as to not obscure vision into the internal access way.

No private areas will be able to be used as public thoroughfares, only the proposed new laneway.

	Compliance	Comment
<b>55.03-8 Landscaping Objectives</b>		
<p>To encourage development that respects the landscape character of the neighbourhood.</p> <p>To encourage development that maintains and enhances habitat for plants and animals in locations of habitat importance.</p> <p>To provide appropriate landscaping.</p> <p>To encourage the retention of mature vegetation on the site.</p> <p><b>Standard B13</b></p> <p>The landscape layout and design should:</p> <ul style="list-style-type: none"> <li>▶ Protect any predominant landscape features of the neighbourhood.</li> <li>▶ Take into account the soil type and drainage patterns of the site.</li> <li>▶ Allow for intended vegetation growth and structural protection of buildings.</li> <li>▶ In locations of habitat importance, maintain existing habitat and provide for new habitat for plants and animals.</li> <li>▶ Provide a safe, attractive and functional environment for residents.</li> </ul> <p>Development should provide for the retention of planting of trees, where these are part of the character of the neighbourhood.</p> <p>Development should provide for the replacement of any significant trees that have been removed in the 12 months prior to the application being made.</p> <p>The landscape design should specify landscape themes, vegetation (location and species), paving and lighting.</p> <p>Development should meet any additional landscape requirements specified in a schedule to the zone.</p>	<p>✓</p>	<p>Landscaping will be employed throughout the site in a manner which complements the existing native and planted character of the area, particularly the riverine environment.</p> <p>Landscaping will be used along boundaries which interface with public areas to soften the appearance of the site and transition between the public and private realm.</p> <p>A Landscaping Plan for the site which meets all relevant standards is provided with the application.</p>

	Compliance	Comment
<b>55.03-9 Access Objectives</b>		
<p>To ensure the number and design of vehicle crossovers respects the neighbourhood character.</p> <p><b>Standard B14</b></p> <p>The width of accessways or car spaces should not exceed:</p> <ul style="list-style-type: none"> <li>▶ 33 per cent of the street frontage, or</li> <li>▶ If the width of the street frontage is less than 20 metres, 40 per cent of the street frontage.</li> </ul> <p>No more than one single-width crossover should be provided for each dwelling fronting a street.</p> <p>The location of crossovers should maximise the retention of on-street car parking spaces.</p> <p>The number of access points to a road in a Road Zone should be minimised.</p> <p>Developments must provide for access for service, emergency and delivery vehicles.</p>	<p>✓</p>	<p>Access to each dwelling will be provided via a new public laneway from River Street.</p> <p>The driveways to each dwelling will be very short and less than 33% of the site frontage. Emergency vehicles will be able to maintain convenient access via the laneway.</p>



	Compliance	Comment
<b>55.03-10 Parking Location Objectives</b>		

To provide convenient parking for resident and visitor vehicles.  
 To protect residents from vehicular noise within developments.

**Standard B15**

Car parking facilities should:

- ▶ Be reasonably close and convenient to dwellings and residential buildings.
- ▶ Be secure.
- ▶ Be well ventilated if enclosed.

Shared accessways or car parks of other dwellings and residential buildings should be located at least 1.5 metres from the windows of habitable rooms. This setback may be reduced to 1 metre where there is a fence at least 1.5 metres high or where window sills are at least 1.4 metres above the accessway.

✓

Onsite shared parking/ visitor parking is sited at least 3m away from any dwellings or habitable room windows and is screened with a colour bond fence and landscaping.  
 All habitable room windows are setback a minimum of 2m from the proposed new laneway.

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## 55.04 Amenity Impacts

	Compliance	Comment
<b>55.04-1 Side and Rear Setbacks Objective</b>		
<p>To ensure that the height and setback of a building from a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings.</p> <p><b>Standard B17</b></p> <p>A new building not on or within 200mm of a boundary should be set back from side or rear boundaries:</p> <ul style="list-style-type: none"> <li>▶ At least the distance specified in the schedule to the zone, or</li> <li>▶ If no distance is specified in the schedule to the zone, 1 metres, plus 0.3 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres.</li> </ul> <p>Sunblinds, verandahs, porches, eaves, fascias, gutters, masonry chimneys, flues, pipes, domestic fuel or water tanks, and heating or cooling equipment or other services may encroach not more than 0.5 metres into the setbacks of this standard.</p> <p>Landing having an area of not more than 2 square metres and less than 1 metre high, stairways, ramps, pergolas, shade sails and carports may encroach into the setbacks of this standard.</p>	✓	<p>Walls off boundaries for all dwellings are setback from side and rear boundaries a minimum of 1 metre where the height of walls is between 3.4m-4m (Ground Floor).</p> <p>Walls off boundaries for all dwellings are setback a minimum of 2.1 metres where the height of walls is between 6.2m-6.9m (First Floor).</p> <p>All eaves, gutters and tanks are sited within areas of excess setback and do not encroach more than 0.5 metres into the minimum setback.</p>

	Compliance	Comment
<b>55.04-2 Walls on Boundaries Objective</b>		
<p>To ensure that the location, length and height of a wall on a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings.</p> <p><b>Standard B18</b></p> <p>A new wall constructed on or within 200mm of a side or rear boundary of a lot or a carport constructed on or within 1 metre of a side or rear boundary of lot should not abut the boundary:</p> <ul style="list-style-type: none"> <li>▶ For a length of more than the distance specified in a schedule to the zone; or</li> <li>▶ If no distance is specified in a schedule to the zone, for a length of more than: <ul style="list-style-type: none"> <li>– 10 metres plus 25 per cent of the remaining length of the boundary of an adjoining lot, or</li> <li>– Where there are existing or simultaneously constructed walls or carports abutting the boundary on an abutting lot, the length of the existing or simultaneously constructed walls or carports, whichever is the greater.</li> </ul> </li> </ul> <p>A new wall or carport may fully abut a side or rear boundary where slope and retaining walls or fences would result in the effective height of the wall or carport being less than 2 metres on the abutting property boundary.</p> <p>A building on a boundary includes a building set back up to 200mm from a boundary.</p> <p>The height of a new wall constructed on or within 200mm of a side or rear boundary or a carport constructed on or within 1 metre of a side or rear boundary should not exceed an average of 3.2 metres with no part higher than 3.6 metres unless abutting a higher existing or simultaneously constructed wall.</p>	<p>✓</p>	<p>Only the dwelling at Lot 1 has a wall on or within 200mm of a lot boundary and the wall is less than 10m long (approx. 7m) and does not exceed a height of 3.6m.</p> <p>All other walls at boundaries are setback a minimum of 1.05m.</p>

	Compliance	Comment
<b>55.04-3 Daylight To Existing Windows Objective</b>		
<p>To allow adequate daylight into existing habitable room windows.</p> <p><b>Standard B19</b></p> <p>Buildings opposite an existing habitable room window should provide for a light court to the existing window that has a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky. The calculation of the area may include land on the abutting lot.</p> <p>Walls or carports more than 3 metres in height opposite an existing habitable room window should be set back from the window at least 50 per cent of the height of the new all if the wall is within a 55 degree arc from the centre of the existing window. The arc may be swung to within 35 degrees of the plane of the wall containing the existing window.</p> <p>Where the existing window is above ground floor level, the wall height is measured from the floor level of the room containing the window.</p>	✓	<p>Dwelling 1 is opposite an existing habitable room window at 36 River Street, and provides for a light court area of 3 square metres and minimum dimension of 1 metre clear to the sky within land on the subject lot, in addition to the light court provided on the abutting lot.</p>
<b>55.04-4 North-Facing Windows Objective</b>		

To allow adequate solar access to existing north-face habitable room windows.

**Standard B20**

If a north-facing habitable room window of an existing dwelling is within 3 metres of a boundary on an abutting lot, a building should be setback from the boundary 1 metres, plus 0.6 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres, for a distance of 3 metres from the edge of each side of the window. A north-facing window is a window with an axis perpendicular to its surface orientated north 20 degrees west to north 30 degrees east.

N/A

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	Compliance	Comment
<b>55.04-5 Overshadowing Open Space Objective</b>		
<p>To ensure buildings do not significantly overshadow existing secluded private open space.</p> <p><b>Standard B21</b></p> <p>Where sunlight to the secluded private open space of an existing dwelling is reduced, at least 75 per cent, or 40 square metres with minimum dimension of 3 metres, whichever is the lesser area, of the secluded private open space should receive a minimum of five hours of sunlight between 9 am and 3 pm on 22 September.</p> <p>If existing sunlight to the secluded private open space of an existing dwelling is less than the requirements of this standard, the amount of sunlight should not be further reduced.</p>	✓	<p>Overshadowing of secluded private open space on the adjoining property at 36 River Street will be minimal and will not be reduced by more than 25% at any time.</p>
<b>55.04-6 Overlooking Objective</b>		
<p>To limit views into existing secluded private open space and habitable room windows.</p> <p><b>Standard B22</b></p> <p>A habitable room window, balcony, terrace, deck or patio should be located and designed to avoid direct views into the secluded private open space of an existing dwelling within a horizontal distance of 9 metres (measured at ground level) of the window, balcony, terrace, deck or patio. Views should be measured within a 45 degree angle from the plane of the window or perimeter of the balcony, terrace, deck or patio, and from a height of 1.7 metres above floor level.</p> <p>A habitable room window, balcony, terrace, deck or patio with a direct view into a habitable room window of existing dwelling within a horizontal distance of 9 metres (measured at ground level) of the window, balcony, terrace, deck or patio should be either:</p>	✓	<p>All habitable room windows facing 36 River Street, have a height of 1.7m or 1.8m above the floor level and does not allow for direct views into adjoining private open space.</p> <p>All balconies are located to overlooked public open space, the street or internal of the lot.</p> <p>The location of all windows will be offset from those opposite adjoining lots.</p>



Compliance	Comment
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- ▶ Offset a minimum of 1.5 metres from the edge of one window to the edge of the other
- ▶ Have still heights of at least 1.7 metres above floor level.
- ▶ Have fixed, obscure glazing in any part of the window below 1.7 metre above floor level.
- ▶ Have permanently fixed external screens to at least 1.7 metres above floor level and be no more than 25 per cent transparent.

Obscure glazing in any part of the window below 1.7 metres above floor level may be openable provided that there are no direct views as specified in this standard.

Screens used to obscure a view should be:

- ▶ Perforated panels or trellis with a maximum of 25 per cent openings or solid translucent panels.
- ▶ Permanent, fixed and durable.
- ▶ Designed and coloured to blend in with the development.

This standard does not apply to a new habitable room window, balcony, terrace, deck or patio which faces a property boundary where there is a visual barrier at least 1.8 metres high and the floor level of the habitable room, balcony, terrace, deck or patio is less than 0.8 metres above ground level at the boundary.

55.04-7 Internal Views Objective	
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To limit views into the secluded private open space and habitable room windows of dwellings and residential buildings within a development.

**Standard B23**

Windows and balconies should be designed to prevent overlooking of more than 50 per cent of the secluded private open space of a lower-level dwelling or residential building directly below and within the same development.

✓

All first floor windows and balconies will overlook less than 50% of adjoining private open space, as all balconies are orientated towards the access laneway/frontage.

	Compliance	Comment
<b>55.04-8 Noise Impacts Objective</b>		
<p>To contain noise sources in developments that may affect existing dwellings. To protect residents from external noise</p> <p><b>Standard B24</b></p> <p>Noise sources, such as mechanical plant, should not be located near bedrooms of immediately adjacent existing dwellings.</p> <p>Noise sensitive rooms and secluded private open spaces of new dwellings and residential buildings should take account of noise sources on immediately adjacent properties.</p> <p>Dwellings and residential buildings close to busy roads, railway lines or industry should be designed to limit noise levels in habitable rooms.</p>	✓	<p>Noise sensitive rooms have been located and designed with consideration of potential noise sources, with no rooms in close proximity to the street and no other significant noise generators in the area.</p> <p>The development will not have any noise generating features located close in proximity to noise sensitive rooms in adjoining development.</p>

## 55.05 On-Site Amenity and Facilities

	Compliance	Comment
<b>55.05-1 Accessibility Objective</b>		
<p>To encourage the consideration of the needs of people with limited mobility in the design of developments.</p> <p><b>Standard B25</b></p> <p>The ground floor of dwellings and residential buildings should be accessible or able to be easily made accessible to people with limited mobility.</p>	✓	<p>The ground floor landings are low and wide and are surrounded by adequate space to install suitable ramps.</p>
<b>55.05-2 Dwelling Entry Objective</b>		
<p>To provide each dwelling or residential building with its own sense of identity.</p> <p><b>Standard B26</b></p> <p>Entries to dwellings and residential buildings should:</p> <ul style="list-style-type: none"> <li>▶ Be visible and easily identifiable from streets and other public areas.</li> <li>▶ Provide shelter, a sense of personal address and a transitional space around the entry.</li> </ul>	✓	<p>Each dwelling responds to its respective lot size and dimension requirements.</p> <p>While all dwellings are cohesive and share similarities, each building has a point of differences in form and facades to reflect its siting or lot orientation.</p>



	Compliance	Comment
<b>55.05-3 Daylight To New Windows Objective</b>		

To allow adequate daylight into new habitable room windows.

✓

All windows have access to a light court with a minimum area of 1 metre clear to the sky (smallest light court dimension 1.05m or a verandah which is open for a minimum of half of its perimeter.

**Standard B27**

A window in a habitable room should be located to face:

- ▶ An outdoor space open to the sky or a light court with a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky, not including land on an abutting lot, or
- ▶ A verandah provided it is open for at least one third of its perimeter, or
- ▶ A carport provided it has two or more open sides and is open for at least one third of its perimeter.

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	Compliance	Comment
<b>55.05-4 Private Open Space Objective</b>		
<p>To provide adequate private open space for the reasonable recreation and service needs of residents</p> <p><b>Standard B28</b></p> <p>A dwelling or residential building should have private open space of an area and dimensions specified in the schedule to the zone.</p> <p>If no area or dimensions are specified in a schedule to the zone, a dwelling or residential building should have private open space consisting of:</p> <ul style="list-style-type: none"> <li>▶ An area of 40 square metres, with one part of the private open space to consist of secluded private open space at the side or rear of the dwelling or residential building with a minimum area of 25 square metres, a minimum dimension of 3 metres and convenient access from a living room, or</li> <li>▶ A balcony of 8 square metres with a minimum width of 1.6 metres and convenient access from a living room, or</li> <li>▶ A roof-top area of 10 square metres with a minimum width of 2 metres and convenient access from a living room.</li> </ul> <p>The balcony requirements in Clause 55.05-4 do not apply to an apartment development.</p>	✓	<p>Each lot contains a minimum area of 40sqm of private open space including 25 square metres of secluded private open space with a minimum dimension of 3 metres and convenient access from a living room. These calculations include balcony areas.</p>

	Compliance	Comment
<b>55.05-5 Solar Access To Open Space Objective</b>		
<p>To allow solar access into the secluded private open space of new dwellings and residential buildings.</p> <p><b>Standard B29</b></p> <p>The private open space should be located on the north side of the dwelling or residential building, if appropriate.</p> <p>The southern boundary of secluded private open space should be set back from any wall on the north of the space at least <math>(2 + 0.9h)</math> metres, where 'h' is the height of the wall.</p>	✓	<p>Private open space is provided on the northern side of the building where practicable and dwellings which do not (Lots 4, 5) provide private open space with appropriate setbacks from boundaries and larger space overall. All private open space provides for adequate dimensions.</p>
<b>55.05-6 Storage Objective</b>		
<p>To provide adequate storage facilities for each dwelling</p> <p><b>Standard B30</b></p> <p>Each dwelling should have convenient access to at least 6 cubic metres of externally accessible, secure storage space.</p>	✓	<p>Each dwelling is provided with a shed of a minimum of 6 cubic metres (1.8m x 1.8m x 2.0m). Additional indoor storage provided in the dwelling at Lot 5.</p>



## 55.06 Detailed Design

	Compliance	Comment
<b>55.06-1 Design Details Objective</b>		
<p>To encourage design detail that respect the existing or preferred neighbourhood character.</p> <p><b>Standard B31</b></p> <p>The design of buildings, including:</p> <ul style="list-style-type: none"> <li>▶ Façade articulation and detailing,</li> <li>▶ Window and door proportions,</li> <li>▶ Roof form, and</li> <li>▶ Verandahs, eaves and parapets,</li> </ul> <p>should respect the existing or preferred neighbourhood character.</p> <p>Garages and carports should be visually compatible with the development and the existing or preferred neighbourhood character.</p>	✓	<p>The design complements existing and preferred neighbourhood character through the articulation of facades, varied built form, respect to natural features, muted colours and materials for new development in Nagambie and extensive landscaping with large setbacks from the public realm.</p>

	Compliance	Comment
<b>55.06-2 Front Fences Objective</b>		

To encourage front fence design that respects the existing or preferred neighbourhood character.

✓

Front fences at the site are setback a minimum of 3 from the street.

**Standard B32**

The design of front fences should complement the design of the dwelling or residential building and any front fences on adjoining properties.

A front fence within 3 metres of a street should not exceed:

- ▶ The maximum height specified in the schedule to the zone, or
- ▶ If no maximum height is specified in the schedule to the zone, the maximum height specified in Table B3

All front fences are low and highly permeable, as well as complimentary to the rural style of fences in the area.

<b>Table B3 Maximum Front Fence Height</b>			
<b>Street Context</b>	<b>Maximum Front Fence Height</b>		
Streets in a Road Zone Category 1	2 metres	N/A	
Other streets	1.5 metres	✓	Front fences will be less than 1.5m high

**Street Context**

**Maximum Front Fence Height**

Streets in a Road Zone Category 1

2 metres

N/A

Other streets

1.5 metres

✓

Front fences will be less than 1.5m high

<b>55.06-3 Common Property Objectives</b>		
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To ensure that communal open space, car parking, access areas and site facilities are practical, attractive and easily maintained.

✓

Communal spaces are clearly identified through the use of consistent surfacing materials which differ from vehicle access areas of private properties.

To avoid future management difficulties in areas of common ownership.

**Standard B33**

Developments should clearly delineate public, communal and private areas.

Common property, where provided, should be functional and capable of efficient management.

Shared internal access ways are appropriate widths for the anticipated vehicle movements.



	Compliance	Comment
<b>55.06-4 Site Services Objectives</b>		
<p>To ensure that site services can be installed and easily maintained.</p> <p>To ensure that site facilities are accessible, adequate and attractive.</p> <p><b>Standard B34</b></p> <p>The design and layout of dwellings and residential buildings should provide sufficient space (including easements where required) and facilities for services to be installed and maintained efficiently and economically.</p> <p>Bin and recycling enclosures, mailboxes and other site facilities should be adequate in size, durable, waterproof and blend in with the development.</p> <p>Bin and recycling enclosures should be located for convenient access by residents.</p> <p>Mailboxes should be provided and located for convenient access as required by Australia Post.</p>	<p>✓</p>	<p>The development can sufficiently allow for the installation of services to dwellings and throughout the development.</p> <p>The design provides for the appropriate spacing and siting of facilities such as bin storage and water tanks which complements the development.</p> <p>Mailboxes will be provided in a consolidated location at the front of the development to allow for convenient access.</p>

## CLAUSE 56 RESCODE COMPLIANCE CHECKLIST 5 LOT SUBDIVISION AND TOWNHOUSE DEVELOPMENT

### Operation

The provisions of this Clause 56 contain:

- ▶ **Objectives.** An objective describes the desired outcome to be achieved in the completed subdivision.
- ▶ **Standards.** A standard contains the requirements to meet the objectives

A standard should normally be met. However, if the responsible authority is satisfied that an application for an alternative design solution meets the objective, the alternative design solution may be considered.

### Site Context

The subject site can be described as follows:

- The site is rectangular, with dimensions of 54.56m x 58.34m and an area of 3,183m<sup>2</sup>.
- The land is generally flat and clear of significant vegetation and contains an established dwelling and shedding.
- The land has frontage and vehicle access at River Street.
- The land is located within an established residential area of Nagambie and is located directly adjacent to the Lake Nagambie Foreshore.

### Design Response

The subject site is located within an established residential area of Nagambie in proximity to the Town Centre, adjacent to a future development site and the Lake Nagambie Foreshore. The proposed subdivision has been designed to accommodate higher density dwellings which sit well within the local neighbourhood character, public realm and environmental qualities.

Refer to the documentation submitted with the application for further details on site and context and design response of the development.



## Assessment Summary

The following table provides an overview of which aspects of the development require a variation to the standards of Clause 56.

Objectives/ Standard	Complies?	Objectives/ Standard	Complies?	Objectives/ Standard	Complies?
<b>C1</b> Strategic Implementation	N/A	<b>C11</b> Common Area	✓	<b>C21</b> Lot Access	✓
<b>C2</b> Compact and Walkable Neighbourhoods	N/A	<b>C12</b> Integrated Urban Landscape	✓	<b>C22</b> Drinking Water Supply	✓
<b>C3</b> Activity Centre	N/A	<b>C13</b> Public Open Space Provision	N/A	<b>C23</b> Reused and Recycled Water	✓
<b>C4</b> Planning for Community Facilities	N/A	<b>C14</b> Integrated Mobility	N/A	<b>C24</b> Waste Water Management	✓
<b>C5</b> Built Environment	✓	<b>C15</b> Walking and Cycling Network	✓	<b>C25</b> Stormwater Management	✓
<b>C6</b> Neighbourhood Character	✓	<b>C16</b> Public Transport Network	N/A	<b>C26</b> Site Management	✓
<b>C7</b> Lot Diversity and Distribution	✓	<b>C17</b> Neighbourhood Street Network	✓	<b>C27</b> Shared Trenching	✓
<b>C8</b> Lot Area and Building Envelopes	✓	<b>C18</b> Walking and Cycling Network Detail	✓	<b>C28</b> Electricity, Telecommunications and Gas	✓
<b>C9</b> Solar Orientation of Lots	✓	<b>C19</b> Public Transport Network Detail	N/A	<b>C29</b> Fire Hydrants	✓
<b>C10</b> Street Orientation	✓	<b>C20</b> Neighbourhood Street Network Detail	✓	<b>C30</b> Public Lighting	✓

## 56.01 Subdivision Site and Context Description and Design Response

	Compliance	Comment
<b>56.01-1 Subdivision site and context description</b>		

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The site and context description may use a site plan, photographs or other techniques and must accurately describe:

✓

A detailed site and context description identifying all relevant features is provided above.

In relation to the site:

- ▶ Site shape, size, dimensions and orientation.
- ▶ Levels and contours of the site.
- ▶ Natural features including trees and other significant vegetation, drainage lines, water courses, wetlands, ridgelines and hill tops.
- ▶ The siting and use of existing buildings and structures.
- ▶ Street frontage features such as poles, street trees and kerb crossings.
- ▶ Access points.
- ▶ Location of drainage and other utilities.
- ▶ Easements.
- ▶ Any identified natural or cultural features of the site.
- ▶ Significant views to and from the site.
- ▶ Noise and odour sources or other external influences.
- ▶ Soil conditions, including any land affected by contamination, erosion, salinity, acid sulphate soils or fill.
- ▶ Any other notable features or characteristics of the site.
- ▶ Adjacent uses.
- ▶ Any other factor affecting the capacity to develop the site including whether the site is affected by inundation.

An application for subdivision of 3 or more lots must also describe in relation to the surrounding area:

- ▶ The pattern of subdivision.
- ▶ Existing land uses.
- ▶ The location and use of existing buildings on adjacent land.
- ▶ Abutting street and path widths, materials and detailing.
- ▶ The location and type of significant vegetation.

If in the opinion of the responsible authority a requirement of the site and context description is not relevant to the assessment of an application, the responsible authority may waive or reduce the requirement.

	Compliance	Comment
<b>56.01-2 Subdivision design response</b>		

The design response must explain how the proposed design:

- ▶ Derives from and responds to the site and context description.
- ▶ Responds to any site and context features for the area identified in a local planning policy or a Neighbourhood Character Overlay.
- ▶ Responds to any relevant objective, policy, strategy or plan set out for the area in this scheme.
- ▶ Meets the relevant objectives of Clause 56.

The design response must include a dimensioned plan to scale showing the layout of the subdivision in context with the surrounding area. If in the opinion of the responsible authority this requirement is not relevant to the assessment of an application, it may waive or reduce the requirement.

An application for subdivision of 60 or more lots must also include a plan that meets the requirements of Standard C2. The plan must also show the:

- ▶ Proposed uses of each part of the site.
- ▶ Natural features of the site and identify any features proposed to be altered.
- ▶ Proposed integrated water management system.
- ▶ Proposed staging of the subdivision.

✓

The design response has appropriately considered the neighbourhood character and site and surrounding features.

The planning report provides further detail regarding the neighbourhood character of the area.

	Compliance	Comment
<b>56.02 Policy Implementation</b>		
<b>56.02-1 Strategic implementation objective</b>		
To ensure that the layout and design of a subdivision is consistent with and implements any objective, policy, strategy or plan for the area set out in this scheme.	N/A	-



	Compliance	Comment
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**Standard C1**

An application must be accompanied by a written statement that describes how the subdivision is consistent with and implements any relevant growth area, activity centre, housing, access and mobility, community facilities, open space and recreation, landscape (including any native vegetation precinct plan) and urban design objective, policy, strategy or plan for the area set out in this scheme.

**56.03 Liveable and Sustainable Communities**

	Compliance	Comment
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**56.03-1 Compact and walkable neighbourhoods objectives**

To create compact neighbourhoods that are oriented around easy walking distances to activity centres, schools and community facilities, public open space and public transport.

N/A

-

To allow easy movement through and between neighbourhoods for all people.

**Standard C2**

A subdivision should implement any relevant growth area or any approved land-use and development strategy, plan or policy for the area set out in this scheme.

An application for subdivision must include a plan of the layout of the subdivision that:

- ▶ Meets the objectives (if relevant to the class of subdivision specified in the zone) of:
  - Clause 56.03-2 Activity centres
  - Clause 56.03-3 Planning for community facilities
  - Clause 56.04-1 Lot diversity and distribution
  - Clause 56.06-2 Walking and cycling network
  - Clause 56.06-3 Public transport network
  - Clause 56.06-4 Neighbourhood street network
- ▶ Shows the 400 metre street walking distance around each existing or proposed bus stop, 600 metres street walking distance around each existing or proposed tram stop and 800 metres street walking

Compliance	Comment
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distance around each existing or proposed railway station and shows the estimated number of dwellings within those distances.

- ▶ Shows the layout of the subdivision in relation to the surrounding area.
- ▶ Is designed to be accessible for people with disabilities.

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	Compliance	Comment
<b>56.03-2 Activity centre objective</b>		
<p>To provide for mixed-use activity centres, including neighbourhood activity centres, of appropriate area and location.</p> <p><b>Standard C3</b></p> <p>A subdivision should implement any relevant activity centre strategy, plan or policy for the area set out in this scheme.</p> <p>Subdivision should be supported by activity centres that are:</p> <ul style="list-style-type: none"> <li>▶ Accessible by neighbourhood and regional walking and cycling networks.</li> <li>▶ Served by public transport that is connected to the regional public transport network.</li> <li>▶ Located at public transport interchange points for the convenience of passengers and easy connections between public transport services.</li> <li>▶ Located on arterial roads or connector streets.</li> <li>▶ Of appropriate size to accommodate a mix of uses that meet local community needs.</li> <li>▶ Oriented to support active street frontages, support street-based community interaction and pedestrian safety.</li> </ul>	N/A	-
<b>56.03-3 Planning for community facilities objective</b>		
<p>To provide appropriately located sites for community facilities including schools, libraries, preschools and childcare, health services, police and fire stations, recreation and sports facilities.</p> <p><b>Standard C4</b></p> <p>A subdivision should:</p> <ul style="list-style-type: none"> <li>▶ Implement any relevant regional and local community facility strategy, plan or policy for the area set out in this scheme.</li> <li>▶ Locate community facilities on sites that are in or near activity centres and public transport.</li> </ul> <p>School sites should:</p> <ul style="list-style-type: none"> <li>▶ Be integrated with the neighbourhood and located near activity centres.</li> </ul>	N/A	-

- ▶ Be located on walking and cycling networks.
- ▶ Have a bus stop located along the school site boundary.
- ▶ Have student drop-off zones, bus parking and on-street parking in addition to other street functions in abutting streets.
- ▶ Adjoin the public open space network and community sporting and other recreation facilities.
- ▶ Be integrated with community facilities.
- ▶ Be located on land that is not affected by physical, environmental or other constraints.

Schools should be accessible by the Principal Public Transport Network in Metropolitan Melbourne and on the regional public transport network outside Metropolitan Melbourne.

Primary schools should be located on connector streets and not on arterial roads.

New State Government school sites must meet the requirements of the Department of Education and Training and abut at least two streets with sufficient widths to provide student drop-off zones, bus parking and on-street parking in addition to other street functions.

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	Compliance	Comment
<p><b>56.03-4 Built environment objective</b></p> <p>To create urban places with identity and character.</p> <p><b>Standard C5</b></p> <p>The built environment should:</p> <ul style="list-style-type: none"> <li>▶ Implement any relevant urban design strategy, plan or policy for the area set out in this scheme.</li> <li>▶ Provide living and working environments that are functional, safe and attractive.</li> <li>▶ Provide an integrated layout, built form and urban landscape.</li> <li>▶ Contribute to a sense of place and cultural identity.</li> </ul> <p>An application should describe the identity and character to be achieved and the elements that contribute to that identity and character.</p>	<p>✓</p>	<p>The subdivision is consistent with the urban design and neighbourhood character features required at the Nagambie Style Guidelines as outlined in the planning report. The design will make a positive contribution to the built environment of the area and reflects the desired character for Lakeside development in Nagambie.</p>
<p><b>56.03-5 Neighbourhood character objective</b></p> <p>To design subdivisions that respond to neighbourhood character.</p> <p><b>Standard C6</b></p> <p>Subdivision should:</p> <ul style="list-style-type: none"> <li>▶ Respect the existing neighbourhood character or achieve a preferred neighbourhood character consistent with any relevant neighbourhood character objective, policy or statement set out in this scheme.</li> <li>▶ Respond to and integrate with the surrounding urban environment.</li> <li>▶ Protect significant vegetation and site features.</li> </ul>	<p>✓</p>	<p>The design maintains the presentation of lots to the street and is an appropriate density for the context of the land. The subdivision design responds to the environmental features of the site by providing for larger lot sizes where land is impacted by flooding.</p>

## 56.04 Lot Design

	Compliance	Comment
<b>56.04-1 Lot diversity and distribution objectives</b>		
<p>To achieve housing densities that support compact and walkable neighbourhoods and the efficient provision of public transport services.</p> <p>To provide higher housing densities within walking distance of activity centres.</p> <p>To achieve increased housing densities in designated growth areas.</p> <p>To provide a range of lot sizes to suit a variety of dwelling and household types.</p> <p><b>Standard C7</b></p> <p>A subdivision should implement any relevant housing strategy, plan or policy for the area set out in this scheme.</p> <p>Lot sizes and mix should achieve the average net residential density specified in any zone or overlay that applies to the land or in any relevant policy for the area set out in this scheme.</p> <p>A range and mix of lot sizes should be provided including lots suitable for the development of:</p> <ul style="list-style-type: none"> <li>▶ Single dwellings.</li> <li>▶ Two dwellings or more.</li> <li>▶ Higher density housing.</li> <li>▶ Residential buildings and Retirement villages.</li> </ul> <p>Unless the site is constrained by topography or other site conditions, lot distribution should provide for 95 per cent of dwellings to be located no more than 400 metre street walking distance from the nearest existing or proposed bus stop, 600 metres street walking distance from the nearest existing or proposed tram stop and 800 metres street walking distance from the nearest existing or proposed railway station.</p> <p>Lots of 300 square metres or less in area, lots suitable for the development of two dwellings or more, lots suitable for higher density housing and lots suitable for Residential buildings and Retirement villages should be located in and within 400 metres street walking distance of an activity centre.</p>	<p>✓</p>	<p>The subdivision provides for a mix of lot sizes and provides for different offerings with the capacity for higher density residential development than currently available in River Street.</p> <p>All lots are greater than 300sqm in area and are within walking distance (800m) to the Nagambie town centre and other community services. The Nagambie Railway station is also proximate.</p>

	Compliance	Comment
<p><b>56.04-2 Lot area and building envelopes objective</b></p>	✓	
<p>To provide lots with areas and dimensions that enable the appropriate siting and construction of a dwelling, solar access, private open space, vehicle access and parking, water management, easements and the retention of significant vegetation and site features.</p> <p><b>Standard C8</b></p> <p>An application to subdivide land that creates lots of less than 300 square metres should be accompanied by information that shows:</p> <ul style="list-style-type: none"> <li>▶ That the lots are consistent or contain building envelope that is consistent with a development approved under this scheme, or</li> <li>▶ That a dwelling may be constructed on each lot in accordance with the requirements of this scheme.</li> </ul> <p>Lots of between 300 square metres and 500 square metres should:</p> <ul style="list-style-type: none"> <li>▶ Contain a building envelope that is consistent with a development of the lot approved under this scheme, or</li> <li>▶ If no development of the lot has been approved under this scheme, contain a building envelope and be able to contain a rectangle measuring 10 metres by 15 metres, or 9 metres by 15 metres if a boundary wall is nominated as part of the building envelope</li> </ul> <p>If lots of between 300 square metres and 500 square metres are proposed to contain dwellings that are built to the boundary, the long axis of the lots should be within 30 degrees east and 20 degrees west of north unless there are significant physical constraints that make this difficult to achieve.</p> <p>Lots greater than 500 square metres should be able to contain a rectangle measuring 10 metres by 15 metres, and may contain a building envelope.</p> <p>A building envelope may specify or incorporate any relevant siting and design requirement.</p> <p>Any requirement should meet the relevant standards of Clause 54, unless:</p> <ul style="list-style-type: none"> <li>▶ The objectives of the relevant standards are met, and</li> <li>▶ The building envelope is shown as a restriction on a plan of subdivision registered under the <i>Subdivision Act 1988</i>, or is specified as a covenant in an agreement under Section 173 of the Act.</li> </ul>		<p>All lots are greater than 300sqm and provide the opportunity for adequate solar access and consider any constraints on the land.</p> <p>Lots 1-4 will be between 300-500sqm and are all capable of containing a rectangle of 10m x 15m aligned to the north.</p> <p>Lot 5 is greater than 500sqm and is capable of containing a 10m x 15m rectangle of unencumbered land.</p> <p>All lots are capable of containing a dwelling which meets the requirements of Clause 54, as demonstrated in this application.</p>



Where a lot with a building envelope adjoins a lot that is not on the same plan of subdivision or is not subject to the same agreement relating to the relevant building envelope:

- ▶ The building envelope must meet Standards A10 and A11 of Clause 54 in relation to the adjoining lot, and
- ▶ The building envelope must not regulate siting matters covered by Standards A12 to A15 (inclusive) of Clause 54 in relation to the adjoining lot. This should be specified in the relevant plan of subdivision or agreement.

Lot dimensions and building envelopes should protect:

- ▶ Solar access for future dwellings and support the siting and design of dwellings that achieve the energy rating requirements of the Building Regulations.
- ▶ Existing or proposed easements on lots.
- ▶ Significant vegetation and site features.

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	Compliance	Comment
<p><b>56.04-3 Solar orientation of lots objective</b></p> <p>To provide good solar orientation of lots and solar access for future dwellings.</p> <p><b>Standard C9</b></p> <p>Unless the site is constrained by topography or other site conditions, at least 70 percent of lots should have appropriate solar orientation.</p> <p>Lots have appropriate solar orientation when:</p> <ul style="list-style-type: none"> <li>▶ The long axis of lots are within the range north 20 degrees west to north 30 degrees east, or east 20 degrees north to east 30 degrees south.</li> <li>▶ Lots between 300 square metres and 500 square metres are proposed to contain dwellings that are built to the boundary, the long axis of the lots should be within 30 degrees east and 20 degrees west of north.</li> <li>▶ Dimensions of lots are adequate to protect solar access to the lot, taking into account likely dwelling size and the relationship of each lot to the street.</li> </ul>	<p>✓</p>	<p>All lots are aligned with the long axis to the direct north or direct east.</p> <p>The proposed lot sizes are appropriate for the dwelling types to be constructed at the site.</p>
<p><b>56.04-4 Street orientation objective</b></p> <p>To provide a lot layout that contributes to community social interaction, personal safety and property security.</p> <p><b>Standard C10</b></p> <p>Subdivision should increase visibility and surveillance by:</p> <ul style="list-style-type: none"> <li>▶ Ensuring lots front all roads and streets and avoid the side or rear of lots being oriented to connector streets and arterial roads.</li> <li>▶ Providing lots of 300 square metres or less in area and lots for 2 or more dwellings around activity centres and public open space.</li> <li>▶ Ensuring streets and houses look onto public open space and avoiding sides and rears of lots along public open space boundaries.</li> <li>▶ Providing roads and streets along public open space boundaries.</li> </ul>	<p>✓</p>	<p>All lots front the proposed new internal road.</p> <p>Lots adjoining River Street and River Street Reserve provide for overlooking into these areas with no high or solid fencing to be provided and landscaping on the boundaries to determine property boundaries while maintaining surveillance into the public realm.</p>

	Compliance	Comment
<b>56.04-5 Common area objectives</b>		
<p>To identify common areas and the purpose for which the area is commonly held.</p> <p>To ensure the provision of common area is appropriate and that necessary management arrangements are in place.</p> <p>To maintain direct public access throughout the neighbourhood street network.</p> <p><b>Standard C11</b></p> <p>An application to subdivide land that creates common land must be accompanied by a plan and a report identifying:</p> <ul style="list-style-type: none"> <li>▶ The common area to be owned by the body corporate, including any streets and open space.</li> <li>▶ The reasons why the area should be commonly held.</li> <li>▶ Lots participating in the body corporate.</li> <li>▶ The proposed management arrangements including maintenance standards for streets and open spaces to be commonly held.</li> </ul>	N/A	There are no common areas to be included as part of the subdivision.



## 56.05 Urban Landscape

	Compliance	Comment
<b>56.05-1 Integrated urban landscape objectives</b>		
<p>To provide attractive and continuous landscaping in streets and public open spaces that contribute to the character and identity of new neighbourhoods and urban places or to existing or preferred neighbourhood character in existing urban areas.</p> <p>To incorporate natural and cultural features in the design of streets and public open space where appropriate.</p> <p>To protect and enhance native habitat and discourage the planting and spread of noxious weeds.</p> <p>To provide for integrated water management systems and contribute to drinking water conservation.</p>	✓	<p>An indicative landscape plan has been provided as part of this application which respects the natural and urban character of the area. Landscaping at the site will complement future development and provide a transition between the public and private realm.</p>
<b>Standard C12</b>		
<p>An application for subdivision that creates streets or public open space should be accompanied by a landscape design.</p>		
<p>The landscape design should:</p>		
<ul style="list-style-type: none"> <li>▶ Implement any relevant streetscape, landscape, urban design or native vegetation precinct plan, strategy or policy for the area set out in this scheme.</li> <li>▶ Create attractive landscapes that visually emphasise streets and public open spaces.</li> <li>▶ Respond to the site and context description for the site and surrounding area.</li> <li>▶ Maintain significant vegetation where possible within an urban context.</li> <li>▶ Take account of the physical features of the land including landform, soil and climate.</li> <li>▶ Protect and enhance any significant natural and cultural features.</li> <li>▶ Protect and link areas of significant local habitat where appropriate.</li> <li>▶ Support integrated water management systems with appropriate landscape design techniques for managing urban run-off including wetlands and other water sensitive urban design features in streets and public open space.</li> <li>▶ Promote the use of drought tolerant and low maintenance plants and avoid species that are likely to spread into the surrounding environment.</li> </ul>		

	Compliance	Comment
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- ▶ Ensure landscaping supports surveillance and provides shade in streets, parks and public open space.
- ▶ Develop appropriate landscapes for the intended use of public open space including areas for passive and active recreation, the exercising of pets, playgrounds and shaded areas.
- ▶ Provide for walking and cycling networks that link with community facilities.
- ▶ Provide appropriate pathways, signage, fencing, public lighting and street furniture.
- ▶ Create low maintenance, durable landscapes that are capable of a long life.
- ▶ The landscape design must include a maintenance plan that sets out maintenance responsibilities, requirements and costs.

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	Compliance	Comment	
<b>56.05-2 Public open space provision objectives</b>	<b>N/A</b>	<b>-</b>	
<p>To provide a network of quality, well-distributed, multi-functional and cost-effective public open space that includes local parks, active open space, linear parks and trails, and links to regional open space.</p>			
<p>To provide a network of public open space that caters for a broad range of users.</p>			
<p>To encourage healthy and active communities.</p>			
<p>To provide adequate unencumbered land for public open space and integrate any encumbered land with the open space network.</p>			
<p>To ensure land provided for public open space can be managed in an environmentally sustainable way and contributes to the development of sustainable neighbourhoods.</p>			
<p><b>Standard C13</b></p>			
<p>The provision of public open space should:</p>			
<ul style="list-style-type: none"> <li>▶ Implement any relevant objective, policy, strategy or plan (including any growth area precinct structure plan) for open space set out in this scheme.</li> </ul>			
<ul style="list-style-type: none"> <li>▶ Provide a network of well-distributed neighbourhood public open space that includes:</li> </ul>			
<ul style="list-style-type: none"> <li>▶ Local parks within 400 metres safe walking distance of at least 95 percent of all dwellings. Where not designed to include active open space, local parks should be generally 1 hectare in area and suitably dimensioned and designed to provide for their intended use and to allow easy adaptation in response to changing community preferences.</li> </ul>			
<ul style="list-style-type: none"> <li>▶ Additional small local parks or public squares in activity centres and higher density residential areas.</li> </ul>			
<ul style="list-style-type: none"> <li>▶ Active open space of at least 8 hectares in area within 1 kilometre of 95 percent of all dwellings that is:</li> </ul>			
<ul style="list-style-type: none"> <li>▶ Suitably dimensioned and designed to provide for the intended use, buffer areas around sporting fields and passive open space</li> </ul>			
<ul style="list-style-type: none"> <li>▶ Sufficient to incorporate two football/cricket ovals</li> </ul>			
<ul style="list-style-type: none"> <li>▶ Appropriate for the intended use in terms of quality and orientation</li> </ul>			



	Compliance	Comment
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- ▶ Located on flat land (which can be cost effectively graded)
- ▶ Located with access to, or making provision for, a recycled or sustainable water supply
- ▶ Adjoin schools and other community facilities where practical
- ▶ Designed to achieve sharing of space between sports.
- ▶ Linear parks and trails along waterways, vegetation corridors and road reserves within 1 kilometre of 95 percent of all dwellings.

Public open space should:

- ▶ Be provided along foreshores, streams and permanent water bodies.
- ▶ Be linked to existing or proposed future public open spaces where appropriate.
- ▶ Be integrated with floodways and encumbered land that is accessible for public recreation.
- ▶ Be suitable for the intended use.
- ▶ Be of an area and dimensions to allow easy adaptation to different uses in response to changing community active and passive recreational preferences.
- ▶ Maximise passive surveillance.
- ▶ Be integrated with urban water management systems, waterways and other water bodies.
- ▶ Incorporate natural and cultural features where appropriate.

### 56.06 Access and Mobility Management

	Compliance	Comment
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#### 56.06-1 Integrated mobility objectives

To achieve an urban structure where compact and walkable neighbourhoods are clustered to support larger activity centres on the Principal Public Transport Network in Metropolitan Melbourne and on the regional public transport network outside Metropolitan Melbourne.

To provide for walking (including persons with impaired mobility), cycling, public transport and other motor vehicles in an integrated manner.

N/A -

	Compliance	Comment
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To contribute to reduced car dependence, improved energy efficiency, improved transport efficiency, reduced greenhouse gas emissions and reduced air pollution.

**Standard C14**

An application for a subdivision must include a plan of the layout of the neighbourhood that meets the objectives of:

- ▶ Clause 56.06-2 Walking and cycling network.
- ▶ Clause 56.06-3 Public transport network.
- ▶ Clause 56.06-4 Neighbourhood street network.

**56.06-2 Walking and cycling network objectives**

To contribute to community health and wellbeing by encouraging walking and cycling as part of the daily lives of residents, employees and visitors.

To provide safe and direct movement through and between neighbourhoods by pedestrians and cyclists.

To reduce car use, greenhouse gas emissions and air pollution.

**Standard C15**

The walking and cycling network should be designed to:

- ▶ Implement any relevant regional and local walking and cycling strategy, plan or policy for the area set out in this scheme.
- ▶ Link to any existing pedestrian and cycling networks.
- ▶ Provide safe walkable distances to activity centres, community facilities, public transport stops and public open spaces.
- ▶ Provide an interconnected and continuous network of safe, efficient and convenient footpaths, shared paths, cycle paths and cycle lanes based primarily on the network of arterial roads, neighbourhood streets and regional public open spaces.
- ▶ Provide direct cycling routes for regional journeys to major activity centres, community facilities, public transport and other regional activities and for regional recreational cycling.

✓

Local community services and facilities are located within a safe and proximate distance to the site.

The subdivision layout allows for surveillance and the safe usage of the new internal road and site entry point for all users.

While no formalised pedestrian infrastructure will be provided, the treatment of the internal road will provide for a safe shared walking/ cycling/ vehicle environment.

	Compliance	Comment
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- ▶ Ensure safe street and road crossings including the provision of traffic controls where required.
- ▶ Provide an appropriate level of priority for pedestrians and cyclists.
- ▶ Have natural surveillance along streets and from abutting dwellings and be designed for personal safety and security particularly at night.
- ▶ Be accessible to people with disabilities.

### 56.06-3 Public transport network objectives

To provide an arterial road and neighbourhood street network that supports a direct, efficient and safe public transport system.

N/A

-

To encourage maximum use of public transport.

#### Standard C16

The public transport network should be designed to:

- ▶ Implement any relevant public transport strategy, plan or policy for the area set out in this scheme.
- ▶ Connect new public transport routes to existing and proposed routes to the satisfaction of the relevant public transport authority.
- ▶ Provide for public transport links between activity centres and other locations that attract people using the Principal Public Transport Network in Metropolitan Melbourne and the regional public transport network outside Metropolitan Melbourne.
- ▶ Locate regional bus routes principally on arterial roads and locate local bus services principally on connector streets to provide:
  - Safe and direct movement between activity centres without complicated turning manoeuvres.
  - Direct travel between neighbourhoods and neighbourhood activity centres.
  - A short and safe walk to a public transport stop from most dwellings.



	Compliance	Comment
<b>56.06-4 Neighbourhood street network objective</b>		
<p>To provide for direct, safe and easy movement through and between neighbourhoods for pedestrians, cyclists, public transport and other motor vehicles using the neighbourhood street network.</p> <p><b>Standard C17</b></p> <p>The neighbourhood street network must:</p> <ul style="list-style-type: none"> <li>▶ Take account of the existing mobility network of arterial roads, neighbourhood streets, cycle paths, shared paths, footpaths and public transport routes.</li> <li>▶ Provide clear physical distinctions between arterial roads and neighbourhood street types.</li> <li>▶ Comply with the Roads Corporation’s arterial road access management policies.</li> <li>▶ Provide an appropriate speed environment and movement priority for the safe and easy movement of pedestrians and cyclists and for accessing public transport.</li> <li>▶ Provide safe and efficient access to activity centres for commercial and freight vehicles.</li> <li>▶ Provide safe and efficient access to all lots for service and emergency vehicles.</li> <li>▶ Provide safe movement for all vehicles.</li> <li>▶ Incorporate any necessary traffic control measures and traffic management infrastructure.</li> </ul> <p>The neighbourhood street network should be designed to:</p> <ul style="list-style-type: none"> <li>▶ Implement any relevant transport strategy, plan or policy for the area set out in this scheme.</li> <li>▶ Include arterial roads at intervals of approximately 1.6 kilometres that have adequate reservation widths to accommodate long term movement demand.</li> <li>▶ Include connector streets approximately halfway between arterial roads and provide adequate reservation widths to accommodate long term movement demand.</li> <li>▶ Ensure connector streets align between neighbourhoods for direct and efficient movement of pedestrians, cyclists, public transport and other motor vehicles.</li> <li>▶ Provide an interconnected and continuous network of streets within and between neighbourhoods for use by pedestrians, cyclists, public transport and other vehicles.</li> <li>▶ Provide an appropriate level of local traffic dispersal.</li> </ul>	<p style="text-align: center;">✓</p>	<p>The subdivision will include the creation of a new road between River Street and the future development to the north. This road has been designed to allow convenient pedestrian and cyclist movement to River Street and prevent the establishment of a no-through road to increase connectivity throughout Nagambie.</p> <p>Given the road’s size and proximity to the proposed dwellings, the road will act as a shared area, encouraging low speeds from drivers.</p> <p>The road also provides for emergency access from the north and will be blocked for vehicle use by bollards, which can be removed by the local CFA.</p>

	Compliance	Comment
<ul style="list-style-type: none"> <li>▶ Indicate the appropriate street type.</li> <li>▶ Provide a speed environment that is appropriate to the street type.</li> <li>▶ Provide a street environment that appropriately manages movement demand (volume, type and mix of pedestrians, cyclists, public transport and other motor vehicles).</li> <li>▶ Encourage appropriate and safe pedestrian, cyclist and driver behaviour.</li> <li>▶ Provide safe sharing of access lanes and access places by pedestrians, cyclists and vehicles.</li> <li>▶ Minimise the provision of culs-de-sac.</li> <li>▶ Provide for service and emergency vehicles to safely turn at the end of a dead-end street.</li> <li>▶ Facilitate solar orientation of lots.</li> <li>▶ Facilitate the provision of the walking and cycling network, integrated water management systems, utilities and planting of trees.</li> <li>▶ Contribute to the area's character and identity.</li> <li>▶ Take account of any identified significant features.</li> </ul>		
<b>56.06-5 Walking and cycling network detail objectives</b>		

<p>To design and construct footpaths, shared path and cycle path networks that are safe, comfortable, well-constructed and accessible for people with disabilities.</p>	✓	
<p>To design footpaths to accommodate wheelchairs, prams, scooters and other footpath bound vehicles.</p>		
<p><b>Standard C18</b></p>		
<p>Footpaths, shared paths, cycle paths and cycle lanes should be designed to:</p>		
<ul style="list-style-type: none"> <li>▶ Be part of a comprehensive design of the road or street reservation.</li> <li>▶ Be continuous and connect.</li> <li>▶ Provide for public transport stops, street crossings for pedestrians and cyclists and kerb crossovers for access to lots.</li> <li>▶ Accommodate projected user volumes and mix.</li> <li>▶ Meet the requirements of Table C1.</li> </ul>		<p>No footpaths or cycling paths are provided as part of the subdivision however the new road will be treated to ensure it can be used as a low speed- shared zone which will connect appropriately through to River Street.</p>

	Compliance	Comment
<ul style="list-style-type: none"> <li>▶ Provide pavement edge, kerb, channel and crossover details that support safe travel for pedestrians, footpath bound vehicles and cyclists, perform required drainage functions and are structurally sound.</li> <li>▶ Provide appropriate signage.</li> <li>▶ Be constructed to allow access to lots without damage to the footpath or shared path surfaces.</li> <li>▶ Be constructed with a durable, non-skid surface.</li> <li>▶ Be of a quality and durability to ensure:               <ul style="list-style-type: none"> <li>– Safe passage for pedestrians, cyclists, footpath bound vehicles and vehicles.</li> <li>– Discharge of urban run-off.</li> <li>– Preservation of all-weather access.</li> <li>– Maintenance of a reasonable, comfortable riding quality.</li> <li>– A minimum 20 year life span.</li> </ul> </li> <li>▶ Be accessible to people with disabilities and include tactile ground surface indicators, audible signals and kerb ramps required for the movement of people with disabilities.</li> </ul>		

**56.06-6 Public transport network detail objectives**

<p>To provide for the safe, efficient operation of public transport and the comfort and convenience of public transport users.</p> <p>To provide public transport stops that are accessible to people with disabilities.</p> <p><b>Standard C19</b></p> <p>Bus priority measures must be provided along arterial roads forming part of the existing or proposed Principal Public Transport Network in Metropolitan Melbourne and the regional public transport network outside Metropolitan Melbourne to the requirements of the relevant roads authority.</p> <p>Road alignment and geometry along bus routes should provide for the efficient, unimpeded movement of buses and the safety and comfort of passengers.</p> <p>The design of public transport stops should not impede the movement of pedestrians.</p> <p>Bus and tram stops should have:</p>	N/A	-
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	Compliance	Comment
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- ▶ Surveillance from streets and adjacent lots.
- ▶ Safe street crossing conditions for pedestrians and cyclists.

Safe pedestrian crossings on arterial roads and at schools including the provision of traffic controls as required by the roads authority.

- ▶ Continuous hard pavement from the footpath to the kerb.
- ▶ Sufficient lighting and paved, sheltered waiting areas for forecast user volume at neighbourhood centres, schools and other locations with expected high patronage.
- ▶ Appropriate signage.

Public transport stops and associated waiting areas should be accessible to people with disabilities and include tactile ground surface indicators, audible signals and kerb ramps required for the movement of people with physical disabilities.

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	Compliance	Comment
<b>56.06-7 Neighbourhood street network detail objective</b>		
<p>To design and construct street carriageways and verges so that the street geometry and traffic speeds provide an accessible and safe neighbourhood street system for all users.</p> <p><b>Standard C20</b></p> <p>The design of streets and roads should:</p> <ul style="list-style-type: none"> <li>▶ Meet the requirements of Table C1. Where the widths of access lanes, access places, and access streets do not comply with the requirements of Table C1, the requirements of the relevant fire authority and roads authority must be met.</li> <li>▶ Provide street blocks that are generally between 120 metres and 240 metres in length and generally between 60 metres to 120 metres in width to facilitate pedestrian movement and control traffic speed.</li> <li>▶ Have verges of sufficient width to accommodate footpaths, shared paths, cycle paths, integrated water management, street tree planting, lighting and utility needs.</li> <li>▶ Have street geometry appropriate to the street type and function, the physical land characteristics and achieve a safe environment for all users.</li> <li>▶ Provide a low-speed environment while allowing all road users to proceed without unreasonable inconvenience or delay.</li> <li>▶ Provide a safe environment for all street users applying speed control measures where appropriate.</li> <li>▶ Ensure intersection layouts clearly indicate the travel path and priority of movement for pedestrians, cyclists and vehicles.</li> <li>▶ Provide a minimum 5 metre by 5 metre corner splay at junctions with arterial roads and a minimum 3 metre by 3 metre corner splay at other junctions unless site conditions justify a variation to achieve safe sight lines across corners.</li> <li>▶ Ensure streets are of sufficient strength to: <ul style="list-style-type: none"> <li>– Enable the carriage of vehicles.</li> <li>– Avoid damage by construction vehicles and equipment.</li> </ul> </li> </ul>	<p>✓</p>	<p>The proposed access lane is designed to meet the minimum width required of 5.5m and does not allow for a verge or on street parking, with a separate area designated adjacent to river street for on street parking.</p> <p>The access lane is an appropriate width to allow the provision of Services to proposed new lots.</p> <p>The access lane allows for consolidated access at River Street while allowing for pedestrian movements between River Street and future residential land to the north.</p> <p>All roads will be constructed in accordance with the relevant IDM standard to the satisfaction of Council.</p>

	Compliance	Comment
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- ▶ Ensure street pavements are of sufficient quality and durability for the:
  - Safe passage of pedestrians, cyclists and vehicles.
  - Discharge of urban run-off.
  - Preservation of all-weather access and maintenance of a reasonable, comfortable riding quality.
- ▶ Ensure carriageways of planned arterial roads are designed to the requirements of the relevant road authority.
- ▶ Ensure carriageways of neighbourhood streets are designed for a minimum 20 year life span.
  - Provide pavement edges, kerbs, channel and crossover details designed to:
  - Perform the required integrated water management functions.
  - Delineate the edge of the carriageway for all street users.
  - Provide efficient and comfortable access to abutting lots at appropriate locations.
  - Contribute to streetscape design.
- ▶ Provide for the safe and efficient collection of waste and recycling materials from lots.
- ▶ Be accessible to people with disabilities.
- ▶ Meet the requirements of Table C1. Where the widths of access lanes, access places, and access streets do not comply with the requirements of Table C1, the requirements of the relevant fire authority and roads authority must be met. Where the widths of connector streets do not comply with the requirements of Table C1, the requirements of the relevant public transport authority must be met.
- ▶ A street detail plan should be prepared that shows, as appropriate:
  - The street hierarchy and typical cross-sections for all street types.
  - Location of carriageway pavement, parking, bus stops, kerbs, crossovers, footpaths, tactile surface indicators, cycle paths and speed control and traffic management devices.
  - Water sensitive urban design features.
  - Location and species of proposed street trees and other vegetation.



	Compliance	Comment
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- Location of existing vegetation to be retained and proposed treatment to ensure its health.
- Any relevant details for the design and location of street furniture, lighting, seats, bus stops, telephone boxes and mailboxes.

**56.06-8 Lot access objective**

To provide for safe vehicle access between roads and lots.

**Standard C21**

Vehicle access to lots abutting arterial roads should be provided from service roads, side or rear access lanes, access places or access streets where appropriate and in accordance with the access management requirements of the relevant roads authority.

Vehicle access to lots of 300 square metres or less in area and lots with a frontage of 7.5 metres or less should be provided via rear or side access lanes, places or streets.

The design and construction of a crossover should meet the requirements of the relevant road authority.

**(Table C1 Design of roads and neighbourhood streets – refer page 6 of Clause 56.06)**

✓

The subject site will be accessed via a local road. All crossovers internal and onto the existing road network meet the relevant design requirements.

**56.07 Integrated Water Management**

	Compliance	Comment
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**56.07-1 Drinking water supply objectives**

To reduce the use of drinking water.

To provide an adequate, cost-effective supply of drinking water.

**Standard C22**

The supply of drinking water must be:

✓

Provision of potable water is available to the site will be provided to each lot.

	Compliance	Comment
<ul style="list-style-type: none"> <li>▶ Designed and constructed in accordance with the requirements and to the satisfaction of the relevant water authority.</li> <li>▶ Provided to the boundary of all lots in the subdivision to the satisfaction of the relevant water authority.</li> </ul>		
<b>56.07-2 Reused and recycled water objective</b>		

To provide for the substitution of drinking water for non-drinking purposes with reused and recycled water.

N/A

The subdivision will not utilise reused or recycled water systems.

**Standard C23**

Reused and recycled water supply systems must be:

- ▶ Designed, constructed and managed in accordance with the requirements and to the satisfaction of the relevant water authority, Environment Protection Authority and Department of Human Services.
- ▶ Provided to the boundary of all lots in the subdivision where required by the relevant water authority.

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	Compliance	Comment
<b>56.07-3 Waste water management objective</b>		
<p>To provide a waste water system that is adequate for the maintenance of public health and the management of effluent in an environmentally friendly manner.</p> <p><b>Standard C24</b></p> <p>Waste water systems must be:</p> <ul style="list-style-type: none"> <li>▶ Designed, constructed and managed in accordance with the requirements and to the satisfaction of the relevant water authority and the Environment Protection Authority.</li> <li>▶ Consistent with any relevant approved domestic waste water management plan.</li> </ul> <p>Reticulated waste water systems must be provided to the boundary of all lots in the subdivision where required by the relevant water authority.</p>	✓	Reticulated sewer will be provided to each lot in accordance with GVW requirements.
<b>56.07-4 Stormwater Management Objectives</b>		
<p>To minimise damage to properties and inconvenience to residents from stormwater.</p> <p>To ensure that the street operates adequately during major storm events and provides for public safety.</p> <p>To minimise increases in stormwater and protect the environmental values and physical characteristics of receiving waters from degradation by stormwater.</p> <p>To encourage stormwater management that maximises the retention and reuse of stormwater.</p> <p>To encourage stormwater management that contributes to cooling, local habitat improvements and provision of attractive and enjoyable spaces.</p> <p><b>Standard C25</b></p> <p>The urban stormwater management system must be:</p> <ul style="list-style-type: none"> <li>▶ Designed and managed in accordance with the requirements and to the satisfaction of the relevant drainage authority.</li> <li>▶ Designed and managed in accordance with the requirements and to the satisfaction of the water authority where reuse of stormwater is proposed.</li> </ul>	✓	Drainage at the site will flow to the legal point of discharge at the site in accordance with the relevant authority.



Compliance	Comment
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- ▶ Designed to meet the current best practice performance objectives for stormwater quality as contained in the *Urban Stormwater - Best Practice Environmental Management Guidelines* (Victorian Stormwater Committee, 1999).
- ▶ Designed to ensure that flows downstream of the subdivision site are restricted to pre-development levels unless increased flows are approved by the relevant drainage authority and there are no detrimental downstream impacts.
- ▶ Designed to contribute to cooling, improving local habitat and providing attractive and enjoyable spaces.

The stormwater management system should be integrated with the overall development plan including the street and public open space networks and landscape design.

For all storm events up to and including the 20% Average Exceedance Probability (AEP) standard:

- ▶ Stormwater flows should be contained within the drainage system to the requirements of the relevant authority.
- ▶ Ponding on roads should not occur for longer than 1 hour after the cessation of rainfall.

For storm events greater than 20% AEP and up to and including 1% AEP standard:

- ▶ Provision must be made for the safe and effective passage of stormwater flows.
- ▶ All new lots should be free from inundation or to a lesser standard of flood protection where agreed by the relevant floodplain management authority.
- ▶ Ensure that streets, footpaths and cycle paths that are subject to flooding meet the safety criteria  $d_a V_{ave} < 0.35 \text{ m}^2/\text{s}$  (where,  $d_a$  = average depth in metres and  $V_{ave}$  = average velocity in metres per second).

The design of the local drainage network should:

- ▶ Ensure run-off is retarded to a standard required by the responsible drainage authority.
- ▶ Ensure every lot is provided with drainage to a standard acceptable to the relevant drainage authority. Wherever possible, run-off should be directed to the front of the lot and discharged into the street drainage system or legal point of discharge.
- ▶ Ensure that inlet and outlet structures take into account the effects of obstructions and debris build up. Any surcharge drainage pit should discharge into an overland flow in a safe and predetermined manner.

	Compliance	Comment
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- ▶ Include water sensitive urban design features to manage run-off in streets and public open space. Where such features are provided, an application must describe maintenance responsibilities, requirements and costs.

Any flood mitigation works must be designed and constructed in accordance with the requirements of the relevant floodplain management authority.

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## 56.08 Site Management

	Compliance	Comment
<b>56.08-1 Site management objectives</b>		
<p>To protect drainage infrastructure and receiving waters from sedimentation and contamination.</p> <p>To protect the site and surrounding area from environmental degradation or nuisance prior to and during construction of subdivision works.</p> <p>To encourage the re-use of materials from the site and recycled materials in the construction of subdivisions where practicable.</p> <p><b>Standard C26</b></p> <p>A subdivision application must describe how the site will be managed prior to and during the construction period and may set out requirements for managing:</p> <ul style="list-style-type: none"> <li>▶ Erosion and sediment.</li> <li>▶ Dust.</li> <li>▶ Run-off.</li> <li>▶ Litter, concrete and other construction wastes.</li> <li>▶ Chemical contamination.</li> <li>▶ Vegetation and natural features planned for retention.</li> </ul> <p>Recycled material should be used for the construction of streets, shared paths and other infrastructure where practicable.</p>	✓	<p>A detailed construction management plan can be required as a condition of the planning permit.</p>



## 56.09 Utilities

	Compliance	Comment
<b>56.09-1 Shared trenching objectives</b>		
<p>To maximise the opportunities for shared trenching.</p> <p>To minimise constraints on landscaping within street reserves.</p> <p><b>Standard C27</b></p> <p>Reticulated services for water, gas, electricity and telecommunications should be provided in shared trenching to minimise construction costs and land allocation for underground services.</p>	✓	<p>The proposed subdivision layout and design provides opportunities for shared trenching which can be implemented with appropriate permit conditions and in accordance with referral authority requirements.</p>
<b>56.09-2 Electricity, telecommunications and gas objectives</b>		
<p>To provide public utilities to each lot in a timely, efficient and cost effective manner.</p> <p>To reduce greenhouse gas emissions by supporting generation and use of electricity from renewable sources.</p> <p><b>Standard C28</b></p> <p>The electricity supply system must be designed in accordance with the requirements of the relevant electricity supply agency and be provided to the boundary of all lots in the subdivision to the satisfaction of the relevant electricity authority.</p> <p>Arrangements that support the generation or use of renewable energy at a lot or neighbourhood level are encouraged.</p> <p>The telecommunication system must be designed in accordance with the requirements of the relevant telecommunications servicing agency and should be consistent with any approved strategy, policy or plan for the provision of advanced telecommunications infrastructure, including fibre optic technology. The telecommunications system must be provided to the boundary of all lots in the subdivision to the satisfaction of the relevant telecommunications servicing authority.</p> <p>Where available, the reticulated gas supply system must be designed in accordance with the requirements of the relevant gas supply agency and be provided to the boundary of all lots in the subdivision to the satisfaction of the relevant gas supply agency.</p>	✓	<p>Services to the site will be provided in accordance with the requirements of the various referral authorities, and implemented by appropriate planning permit conditions.</p>

	Compliance	Comment
<b>56.09-3 Fire hydrants objective</b>		
<p>To provide fire hydrants and fire plugs in positions that enable fire fighters to access water safely, effectively and efficiently.</p> <p><b>Standard C29</b></p> <p>Fire hydrants should be provided:</p> <ul style="list-style-type: none"> <li>▶ A maximum distance of 120 metres from the rear of the each lot.</li> <li>▶ No more than 200 metres apart.</li> </ul> <p>Hydrants and fire plugs must be compatible with the relevant fire service equipment. Where the provision of fire hydrants and fire plugs does not comply with the requirements of standard C29, fire hydrants must be provided to the satisfaction of the relevant fire authority.</p>	✓	<p>Fire hydrants will be placed as necessary and in accordance with regulatory requirements. The detailed subdivision drawings provided as condition of permit will detail all necessary fire hydrant infrastructure.</p>
<b>56.09-4 Public lighting objective</b>		
<p>To provide public lighting to ensure the safety of pedestrians, cyclists and vehicles.</p> <p>To provide pedestrians with a sense of personal safety at night.</p> <p>To contribute to reducing greenhouse gas emissions and to saving energy.</p> <p><b>Standard C30</b></p> <p>Public lighting should be provided to streets, footpaths, public telephones, public transport stops and to major pedestrian and cycle paths including public open spaces that are likely to be well used at night to assist in providing safe passage for pedestrians, cyclists and vehicles.</p> <p>Public lighting should be designed in accordance with the relevant Australian Standards.</p> <p>Public lighting should be consistent with any strategy, policy or plan for the use of renewable energy and energy efficient fittings.</p>	✓	<p>The internal laneway has been designed to ensure public safety and will be adequately lit. Public street lighting will be provided in accordance with relevant standards. The detailed design of street lighting can be required as a condition on the planning permit.</p>